

**CONSTRUCTION PLANS FOR:
RESIDENTIAL ADDITION/ REMODEL AT
160 RICHTER LANE NEW BRAUNFELS
TX 78130**

**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

-
2. The exterior cladding will be fiber cement lap siding (hardi board)

3. lap siding (hardi board) with RT Trim,
(i.e. "ready finish trim")
4. stick framing with 2x4s – not 2x6s on the exterior walls.
5. The only areas where we have 2x6 walls is (a) the plumbing walls and (b) the 8' 6" wall that is "open to below" as you walk in the front door 5/8 gypsum board is only required on one side of each 2x6 partition wall – not both sides.
6. And the minimum R-value is R-13 (not R23).

- Place ladder type horizontal reinforcement at every other course.

8. Approval: Architect reserves the right to reject any work that does not satisfy the design intent.

9. The roof will be standard composition shingles.

10. We're going to have foam insulation on walls and ceiling (min R-21 for walls and R31 for roof)

11. slab with: 4" thickness
18" wide exterior beams (2 no. 5 bars top and bottom)
with minimum depth of 18" and 6" into undisturbed soil
12" wide interior beams (2 no. 4 bars top and bottom)
with minimum depth of 12" and 6" into undisturbed soil
18" wide center beam with 2 no. 5 bars top and bottom
with minimum depth of 18" and 12" into undisturbed soil

12. No. 3 stirrups at 24" OC.
No. 3 grid reinforcement at 24" OC throughout slab.

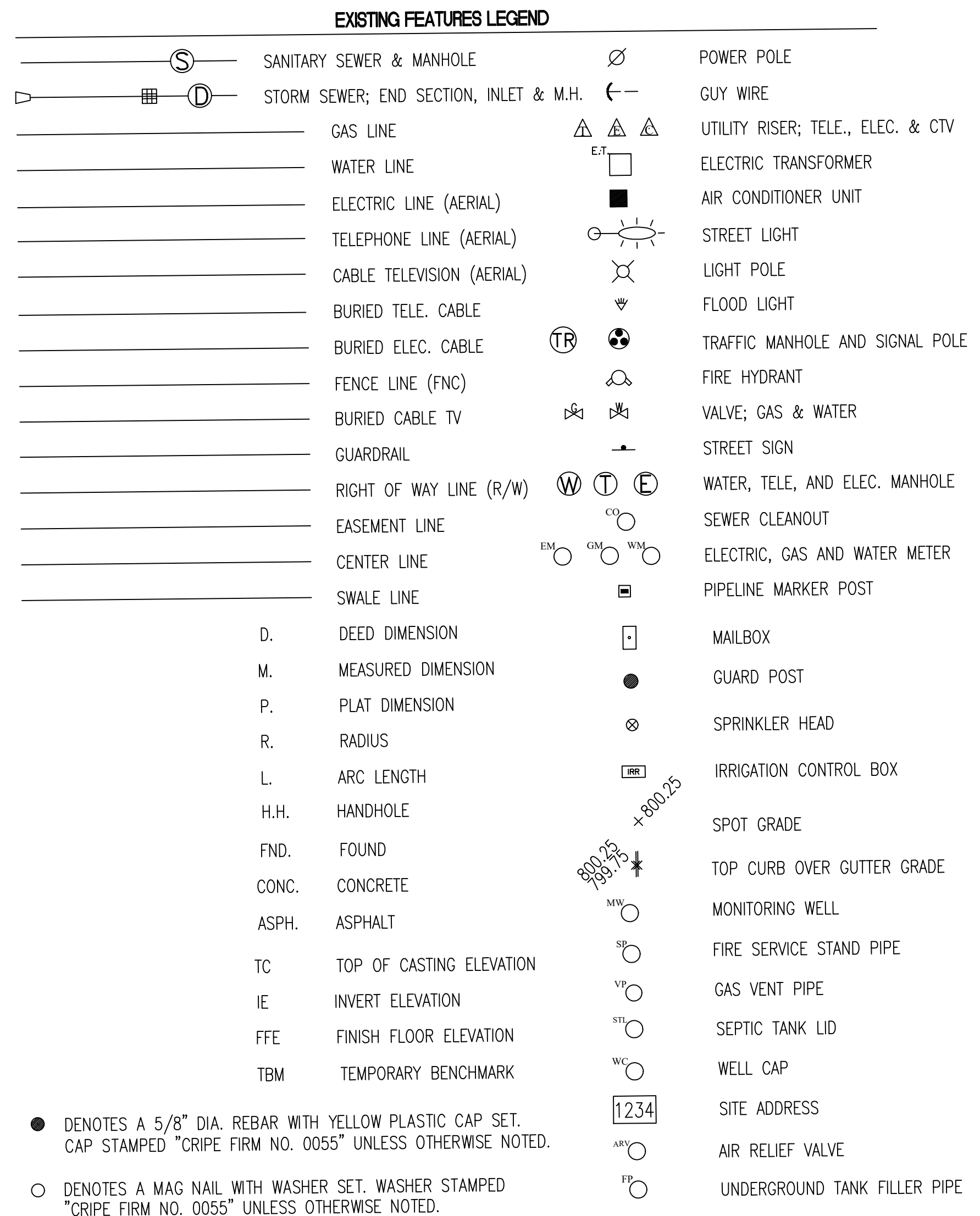
13. Wood Studs: All exterior wall and demising wall studs to be 2"x4" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.

14. Fasteners: All exterior stud screws and fasteners to be stainless steel with neoprene washers.
15. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
16. Vapor Barrier: Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

1. All wall bracing to comply with 2015 IRC or newer building code currently adopted by city Install bracing panels as noted on attached sketch according to details shown on this page..
2. Nail "Red" Thermoply with 1-1/4" galvanized roofing nails or 16 guage 7/16" min. crown staples spaced 3" o.c. on all panel edges and 6" o.c. in the field.

0 16' 32' 64'

$1/8'' = 1'$



I, THE UNDERSIGNED, HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE WITHIN PLAT REPRESENTS A TOPOGRAPHIC SURVEY COMPLETED UNDER MY SUPERVISION ON SEPTEMBER 9, 2022. I FURTHER CERTIFY THAT THE ELEVATIONS SHOWN ARE ACCURATE WITHIN THE FOLLOWING LIMITS UNLESS OTHERWISE NOTED:

ELEVATIONS ON PAVEMENT, CURBS, OR OTHER HARD SURFACES,
BUILDING FLOOR ELEVATIONS, MANHOLES AND OTHER STRUCTURES; ±0.05 FEET
ELEVATIONS ON SOIL, GRASS OR OTHER NATURAL SURFACES; ±0.10 FEET
CONTOUR LINES SHOWN ARE PLOTTED WITHIN ± ONE-HALF INTERVAL.

**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

[illegible]

EXISTING SITE PLAN

Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker

A-001

Scale	$1/8" = 1'$
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Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

-
2. The exterior cladding will be fiber cement lap siding (hardi board)

3. lap siding (hardi board) with RT Trim,
(i.e. "ready finish trim")
4. stick framing with 2x4s – not 2x6s on the exterior walls.
5. The only areas where we have 2x6 walls is (a) the plumbing walls and (b) the 8' 6" wall that is "open to below" as you walk in the front door 5/8 gypsum board is only required on one side of each 2x6 partition wall – not both sides.
6. And the minimum R-value is R-13 (not R23).

- Place ladder type horizontal reinforcement at every other course.

8. Approval: Architect reserves the right to reject any work that does not satisfy the design intent.

9. The roof will be standard composition shingles.

10. We're going to have foam insulation on walls and ceiling (min R-21 for walls and R31 for roof)

11. slab with: 4" thickness
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with minimum depth of 12" and 6" into undisturbed soil
18" wide center beam with 2 no. 5 bars top and bottom
with minimum depth of 18" and 12" into undisturbed soil

12. No. 3 stirrups at 24" OC.
No. 3 grid reinforcement at 24" OC throughout slab.

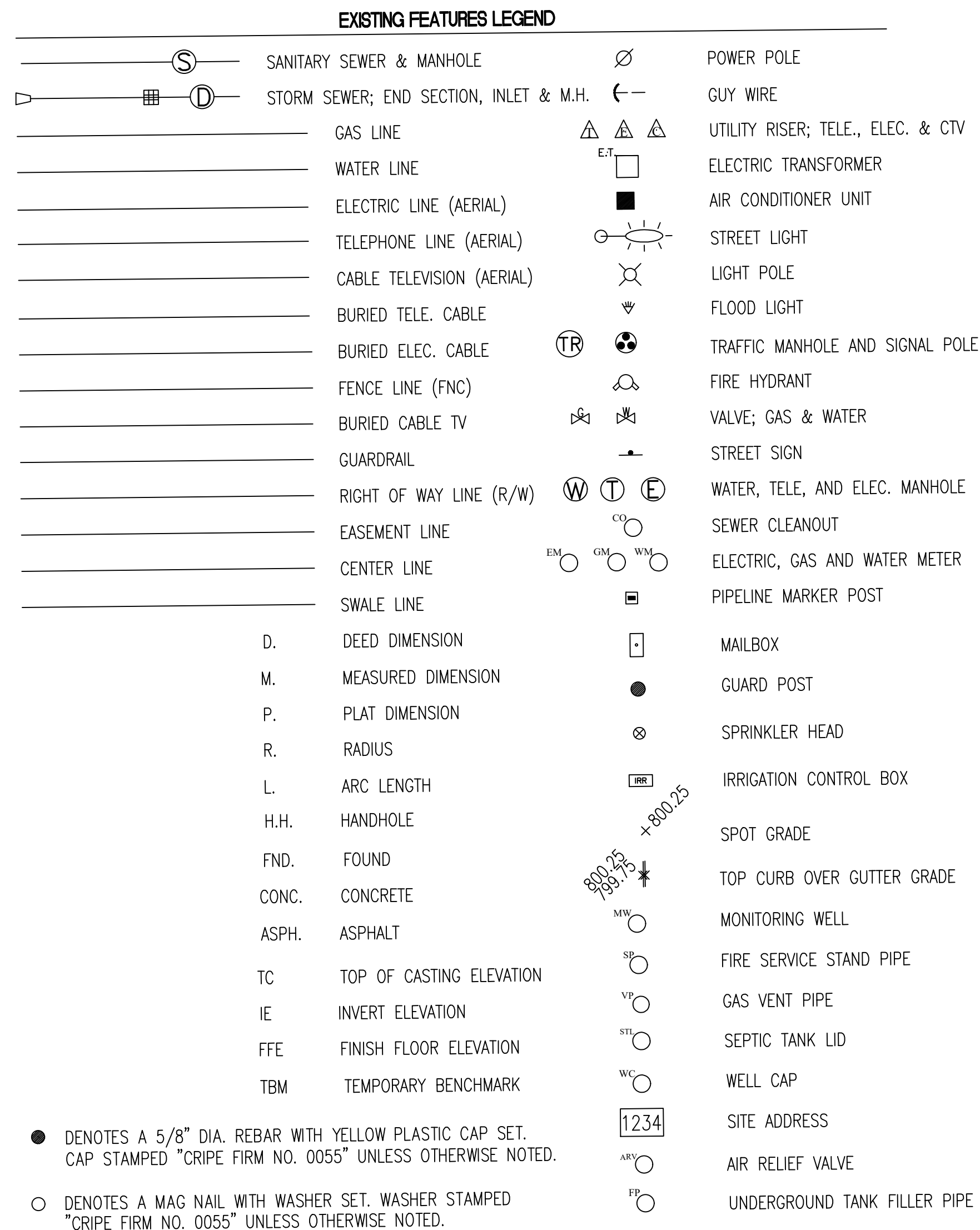
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14. Fasteners: All exterior stud screws and fasteners to be stainless steel with neoprene washers.
15. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
16. Vapor Barrier: Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

1. All wall bracing to comply with 2015 IRC or newer building code currently adopted by city Install bracing panels as noted on attached sketch according to details shown on this page..
2. Nail "Red" Thermoply with 1-1/4" galvanized roofing nails or 16 guage 7/16" min. crown staples spaced 3" o.c. on all panel edges and 6" o.c. in the field.

0 16' 32' 64'

$\frac{1}{8}'' = 1'$



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BUILDING FLOOR ELEVATIONS, MANHOLES AND OTHER STRUCTURES; ±0.05 FEET
ELEVATIONS ON SOIL, GRASS OR OTHER NATURAL SURFACES; ±0.10 FEET
CONTOUR LINES SHOWN ARE PLOTTED WITHIN ± ONE-HALF INTERVAL.

[illegible]

Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker

Scale	$1/8" = 1'$
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Control, Grades, and Elevation

- Veneer Walls (B & B Siding, stucco and stone):

6. And the minimum R-value is R-13 (not R23).

- Place ladder type horizontal reinforcement at every other course.

8. Approval: Architect reserves the right to reject any work that does not satisfy the design intent.

Roofing:

9. The roof will be standard composition shingles.

10. We're going to have foam insulation on walls and ceiling (min R-21 for walls and R31 for roof)

Slab:

11. slab with: 4" thickness
18" wide exterior beams (2 no. 5 bars top and bottom)
with minimum depth of 18" and 6" into undisturbed soil
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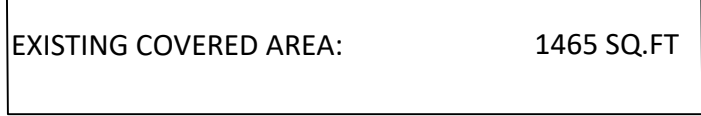
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WALL BRACING NOTES

1. All wall bracing to comply with 2015 IRC or newer building code currently adopted by city. Install bracing panels as noted on attached sketch according to details shown on this page..
2. Nail "Red" Thermoply with 1-1/4" galvanized roofing nails or 16 gauge 7/16" min. crown staples spaced 3" o.c. on all panel edges and 6" o.c. in the field.

[illegible]

EXISTING
FLOOR PLAN

Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker

A-003

Scale	$1/4" = 1'$
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Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

2. The exterior cladding will be fiber cement lap siding (hardi board)

3. lap siding (hardi board) with RT Trim,
(i.e. "ready finish trim")
4. stick framing with 2x4s – not 2x6s on the exterior walls.
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11. slab with: 4" thickness

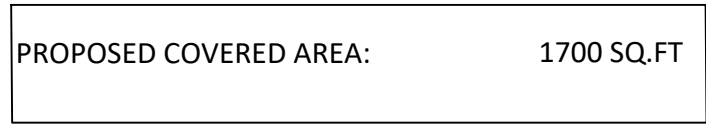
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[illegible]

Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker

Scale $1/4" = 1'$

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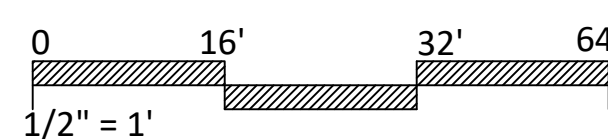
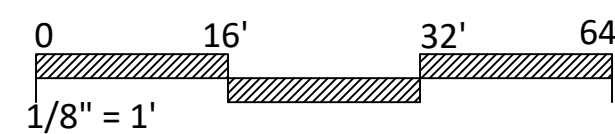
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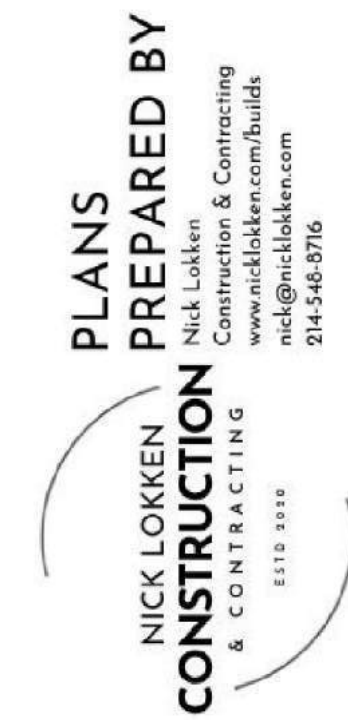
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0 16' 32' 64'

$\frac{1}{2}'' - 8'' = 1'$



**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

[illegible]

ADDITION FLOOR PLAN

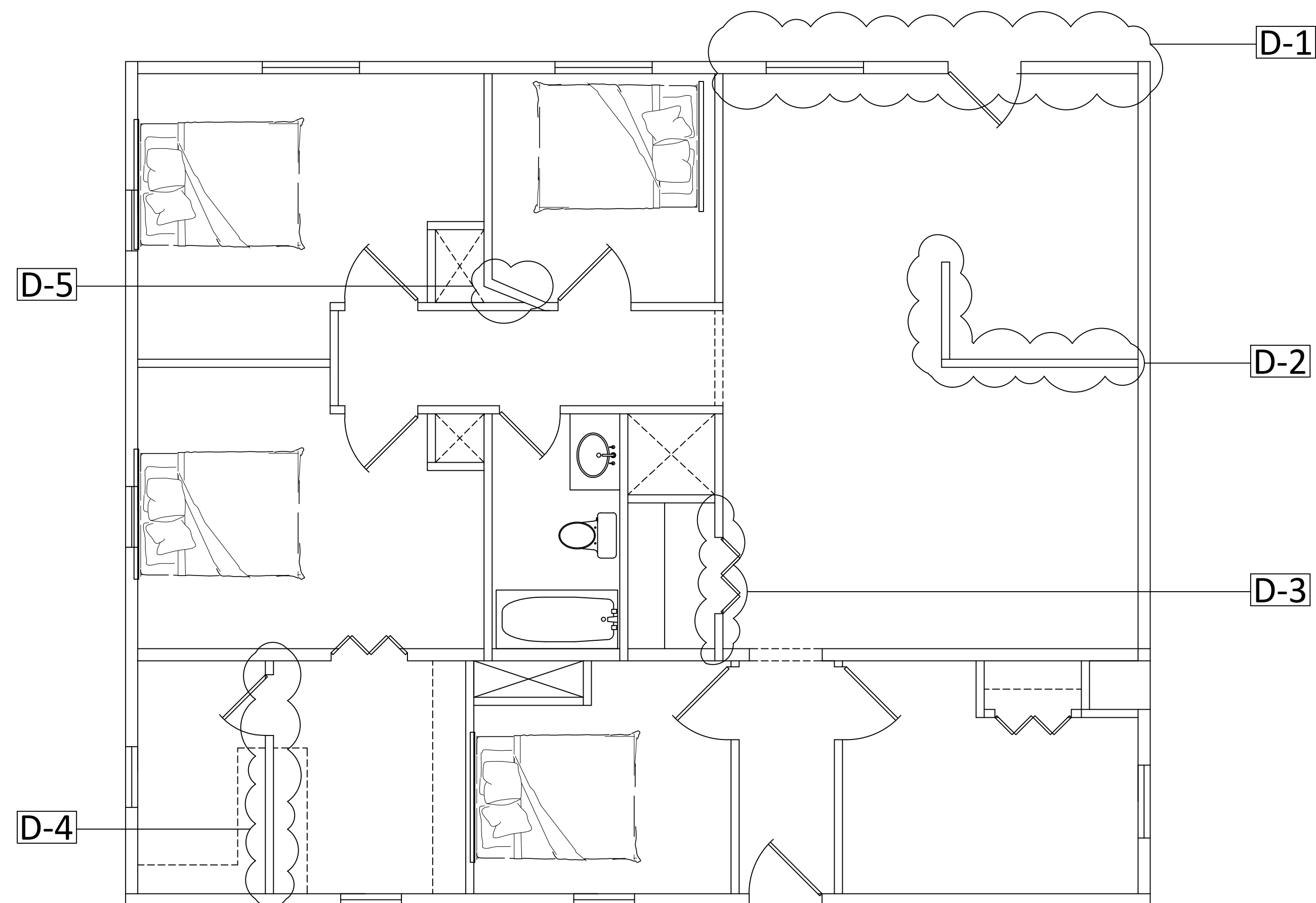
Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker

A-005

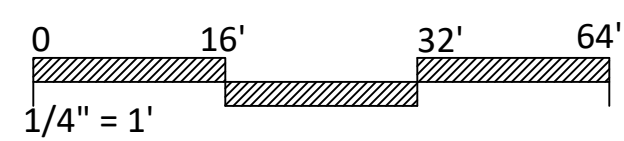
Scale	$1/2''-8'' = 1'$
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DEMOLITION NOTES:

D-1	REMOVE THE WALL ,DOOR AND WINDOW OR EXTEND THE WALL 13 FEET TO THE FRONT
D-2	REMOVE BOTH WALLS AND PLACE THE LVL BEAM IN CIELING FRAMING OVER THE PLACE OF WALL
D-3	REMOVE THE WALL AND DOOR OR EXTEND BOTH 1 FEET TO THE LIVING AREA
D-4	REMOVE THE WALL AND DOOR OR EXTEND TO THE RIGHT SIDE.
D-5	REMOVE THE DIAGONAL WALL.



① DEMOLITION PLAN



**PLANS
PREPARED BY**

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214-546-8716

**NICK LOKKEN
CONSTRUCTION
& CONTRACTING**

ESTD 2010

**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

[illegible]

DEMOLITION
FLOOR PLAN

Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker
A-006	
Scale	1/4" = 1'

Stud Walls:

1. Wood Studs: All exterior wall and demising wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center, unless noted otherwise. Refer to Structural Drawings for load bearing stud layout, sections, and details. All lumber in contact with concrete shall be pressure treated.
2. Fasteners: All exterior stud screws and fasteners to be stainless steel with neoprene washers.
3. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
4. Vapor Barrier: Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.
5. Gypsum Board: Walls and ceiling shall be covered with 5/8" gypsum board unless noted otherwise. Garage walls and ceiling shall be covered with 5/8" Firecode "X" gypsum board.

6. Slope: $\frac{1}{4}$ " per foot slope to be achieved using built-up tapered insulation. Base insulation shall be a minimum of 3" thick with an R-value not less than R-15.
7. Roof Drains: Roof Drains to be connected to one trunk line and connect to the site drainage. Reference Civil Drainage and Plumbing Drawings.
8. Overflow Drains: Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location(s). Reference Plumbing Drawings.
9. Roof Deck: Sheathing to be 3/4" plywood or other Wood Structural Panel. Minimum 1 layer of Grace Ice and Water Shield HT, or approved equal.
10. Membrane Roofing: Firestone UltraPly TPO membrane. 60mil thickness. Color to be either white or tan. Heat weld membrane and wrap parapet per manufacturer's specs.
11. Canopy: All canopies are standing seam on 2x2 aluminum tube frame. Reference structural drawings for canopy connections and details.

12. Approval: Designer reserves the right to reject any work that does not satisfy the design intent.
13. Refer to plan sheets A5.1 to A6.1 for wall sections and details.
14. All columns, beams, struct., connections, and canopy details shall be built based on structural drawings.

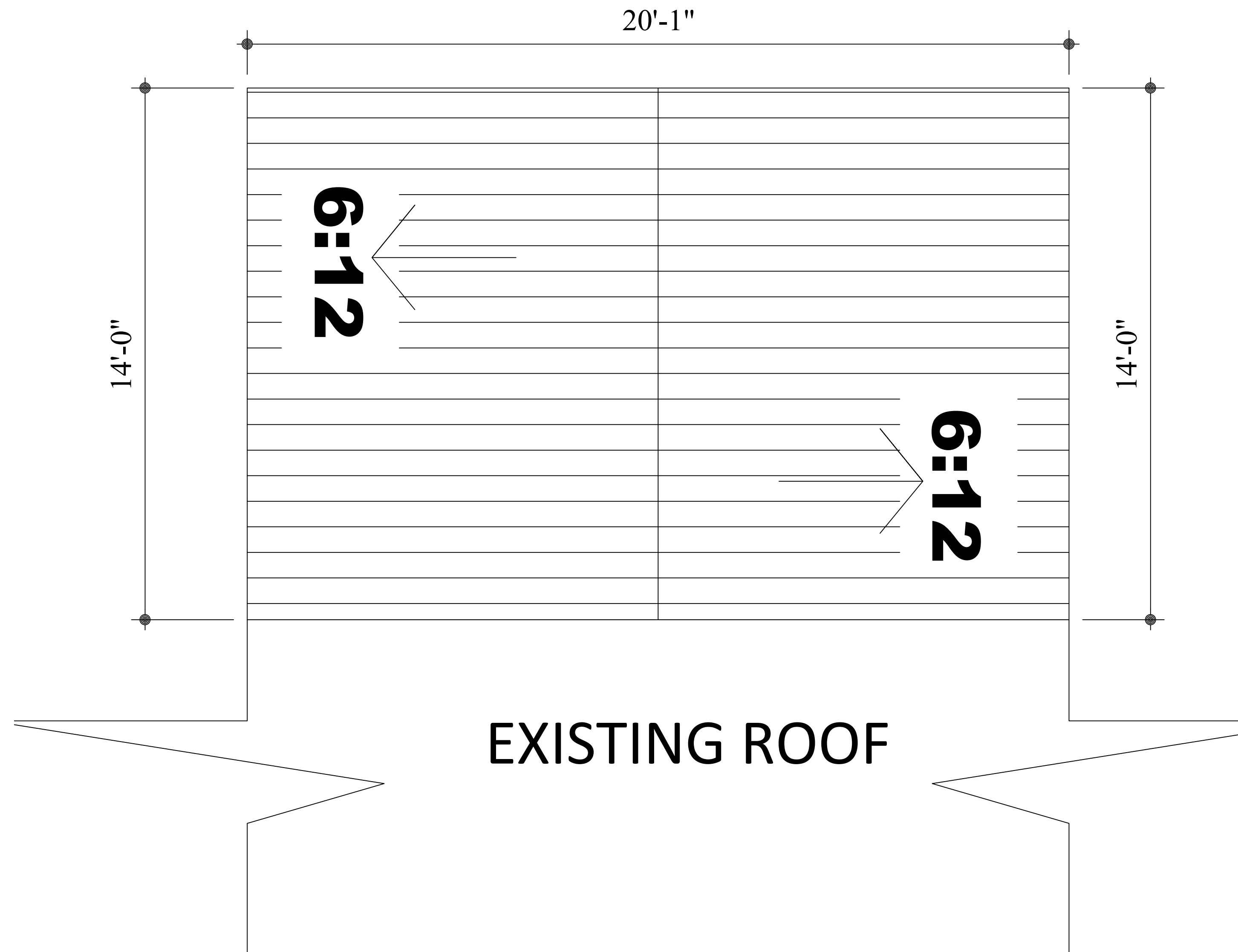
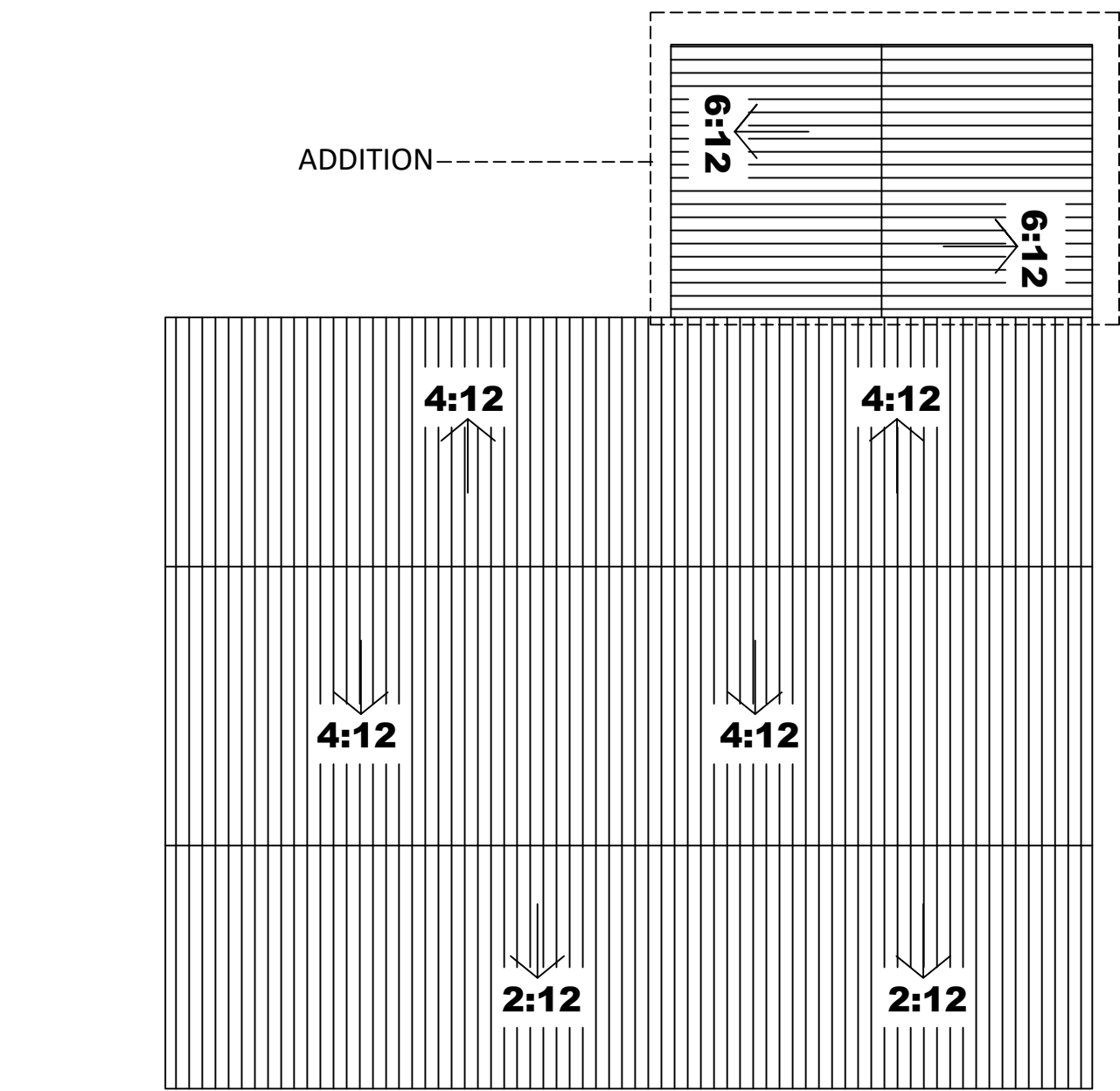


Diagram of a staircase with four steps. The horizontal run of each step is 16 feet, and the vertical rise is $\frac{1}{2}'' = 1'$. The total horizontal distance is 64 feet, and the total vertical distance is 2 feet.

0 16' 32' 64'

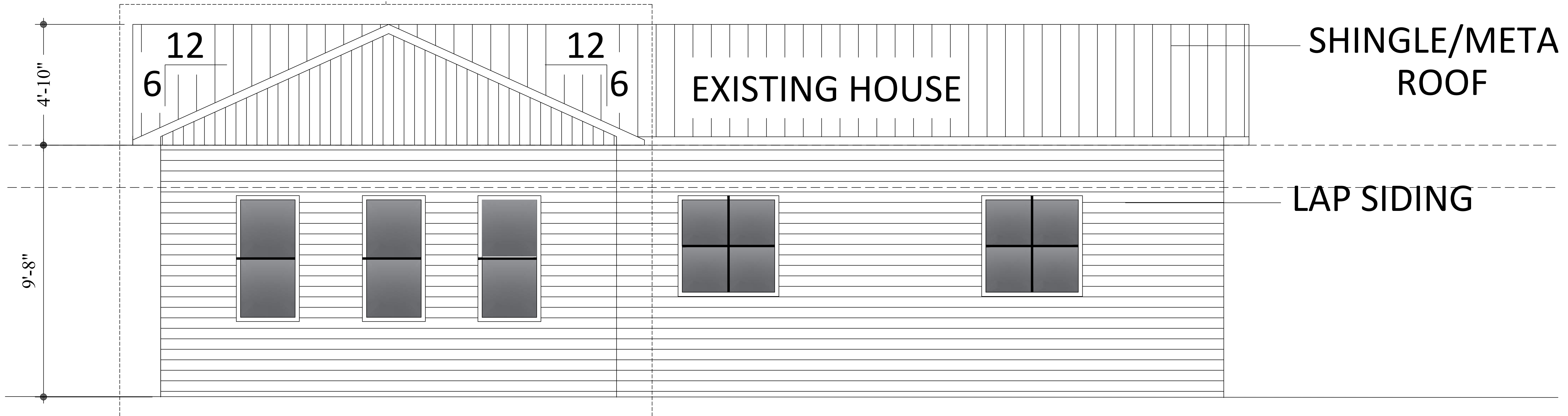
$\frac{1}{4}'' = 1'$

**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

[illegible]

Project number	Project Number
Date	08-06-24
Drawn by	Author
Checked by	Checker
A-007	
Scale	1/4" = 1'

ADDITION

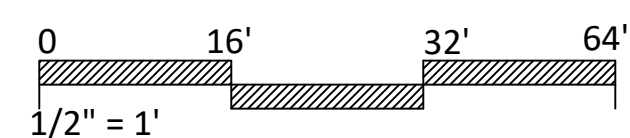


① FRONT ELEVATION:



② REAR ELEVATION:

① EXTERIOR ELEVATIONS-I



**NICK LOKKEN
CONSTRUCTION
& CONTRACTING**

ESTD 2010

**PLANS
PREPARED BY**

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214-546-8716

**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

[illegible]

PROPOSED EXTERIOR ELEVATIONS-I

Project number	Project Number
Date	07-06-24
Drawn by	Author
Checked by	Checker

A-008

Scale	$1/2" = 1'$
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Equipment: Air Handling Unit: Packaged, self-contained, factory-assembled, pre-wired, indoor unit consisting of cabinet, evaporator fan, evaporator coil, heater, controls and filters in draw-through air flow configuration.

Condensing Unit: Packaged, self-contained, factory-assembled, pre-wired, outdoor unit consisting of cabinet, condenser coil, condenser fan, compressor and controls.

Install units where indicated on Drawings, making connections as required to place units into operation. Provide flexible duct connections and spring vibration isolators for the air handling unit. Care shall be taken when lifting units into position to not apply any force to unit casing.

Install refrigerant lines from Air Handling Unit to Condensing Unit in accordance with manufacturer's recommendations.

Install condensate drain pipes from Air Handling Unit drain pan to designated location shown on drawings. Provide minimum 1/8 inch per foot slope on all horizontal pipes.

Provide rubber-in-shear vibration isolators on all ceiling suspended Air Handling Units.

Provide unit with standard programmable thermostat.

Thermostat must start and stop the system under different time schedules for seven different day types per week, are capable of retaining programming and time setting during loss of power for a period of at least 10 hours, and include an accessible manual override, or equivalent function, that allows temporary operation of the system for up to two hours.

Provide duct smoke detectors in supply and return air ducts.

All supply & return air ducts located in unconditioned attics shall be insulated using r-8 insulation.

All supply and return ducts located in a conditioned space or inside the envelope shall be insulated using a minimum R-5.6 insulation.

Both outdoor air supply and exhaust systems shall be equipped with motorized dampers that will automatically shut when the systems or spaces served are not in use.

Provide proper sleeving and sealant for all piping penetrations through outside wall and roof.

Equipment indicated in the drawings, together with its rough-ins and electrical service (if any), are based on the make and model indicated in the equipment schedule or in these specifications. Should the contractor select an alternate make or model of equipment, contractor shall coordinate and make the modifications in the work without change in contract amount.

Unless otherwise shown in the drawings or specified herein, products used in the work shall be installed in accordance with manufacturer's installation instructions and recommendations. Contractor shall verify rough-in sizes with manufacturer.

All work shall be done in conformance with all governing codes, including amendments, bulletins, etc. as well as standards of installation for buildings, and equipment and requirements of the Owner.

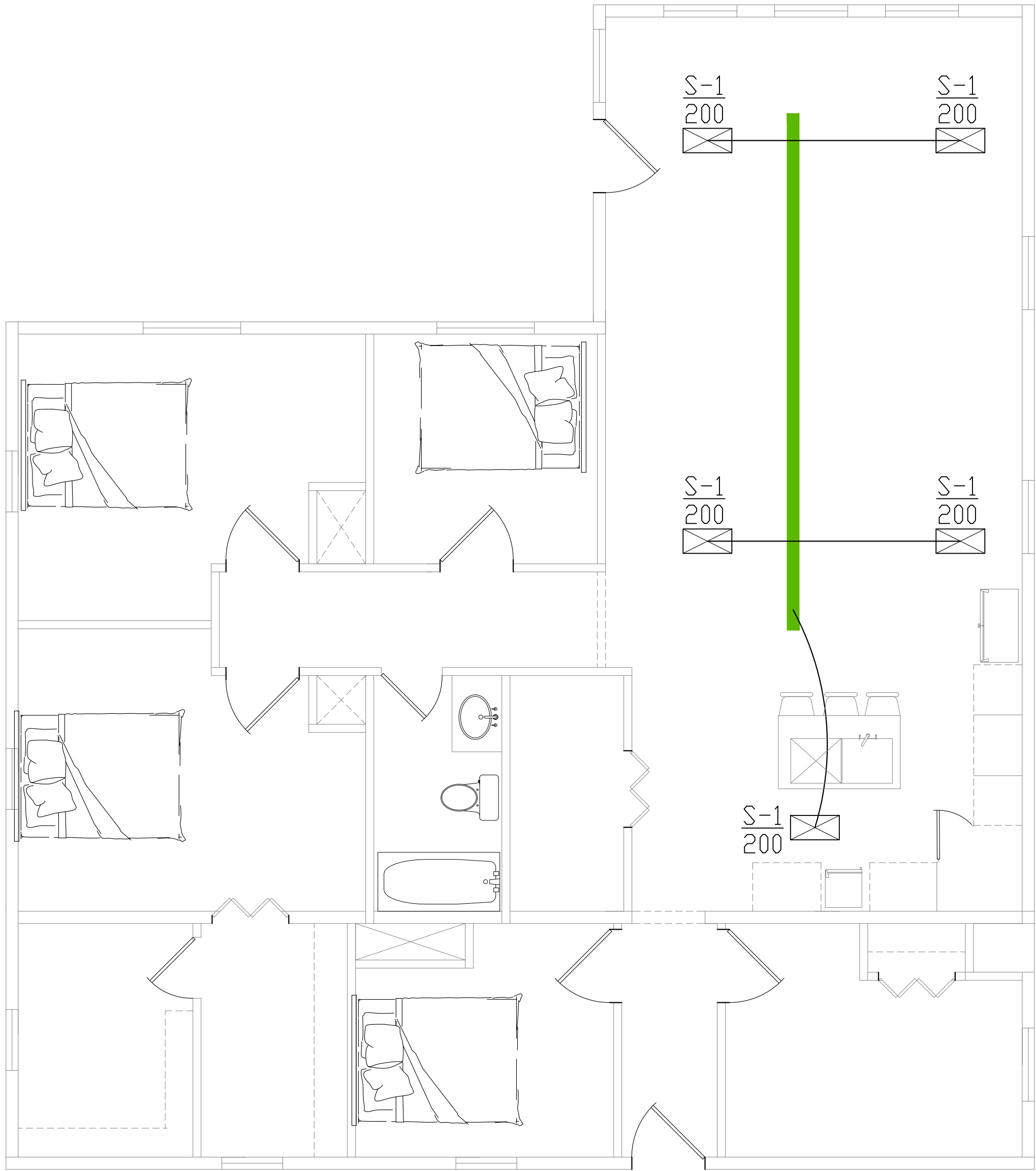
Coordinate all work with other trades to ensure installation is made in accordance with the contract documents.

Contractor shall verify all dimensions prior to fabrication and installation of pipes and equipment.

Contractor to be covered with all required, and industry recommended, insurance coverages.

Drawings are in part diagrammatic and intended to show the scope and general arrangement of the work under the contract. Contractor shall determine the exact location, size and capacity of all utilities before commencing work. Drawings are not intended to be scaled for roughing in measurement nor to serve as shop drawings. Where job conditions require minor changes or adjustments in the indicated locations or arrangement of the work, such changes shall be made without a change in the contract amount.

DIFFUSER SCHEDULE	
MARK	DESCRIPTION
S-1	6"x24" SUPPLY DIFFUSER W/ 8" Ø ROUNDNECK, 4-WAY THROW EQUAL TO TITUS MODEL TMS.
S-2	6"x12" SUPPLY DIFFUSER W/ 8" Ø ROUNDNECK, 4-WAY THROW EQUAL TO TITUS MODEL TMS.
R-1	24"x12" EGGCRATE RETURN GRILLE EQUAL TO TITUS MODEL 50F.



0 16' 32' 64'

$\frac{1}{4}'' = 1'$



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TX 78130**

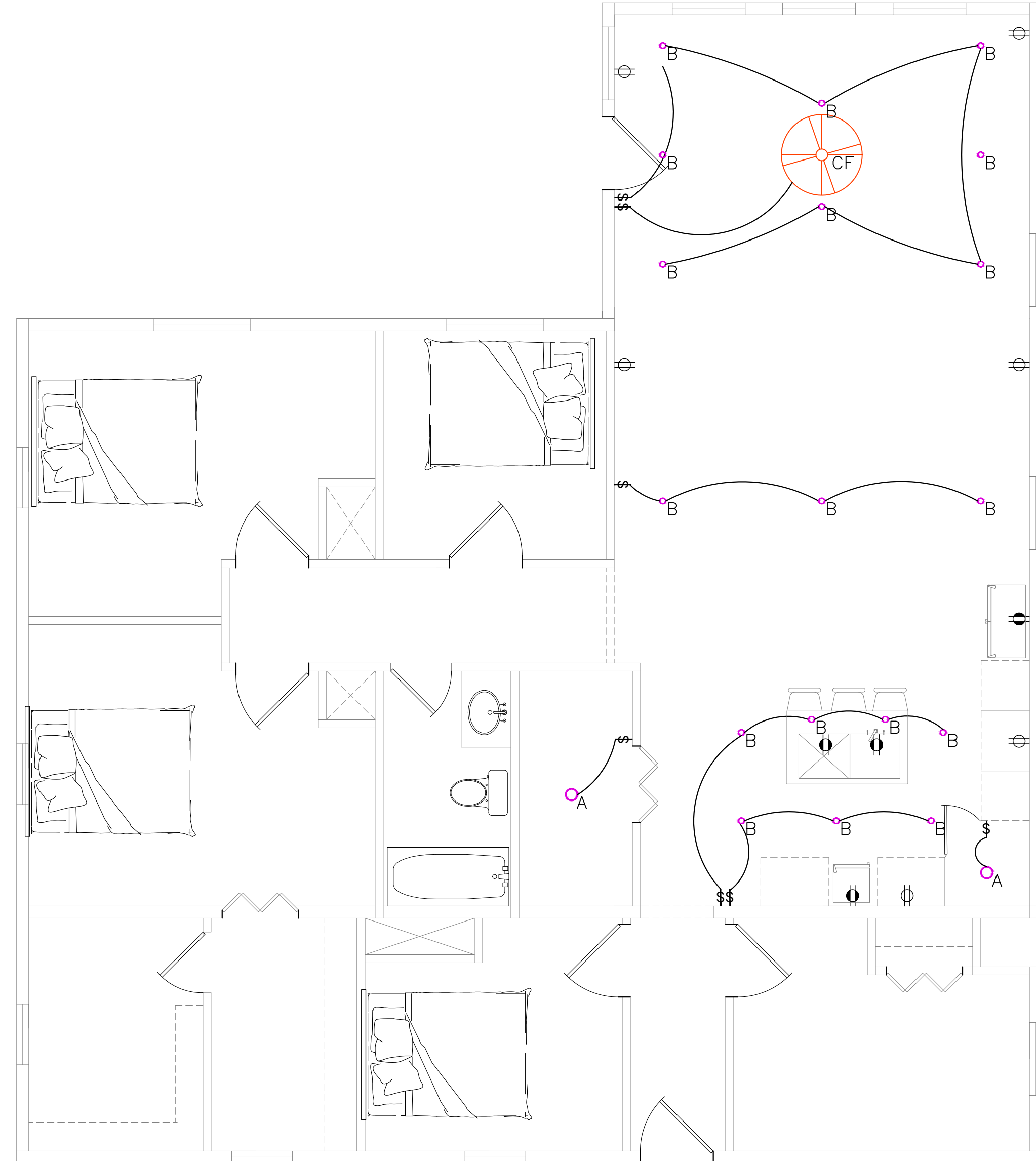
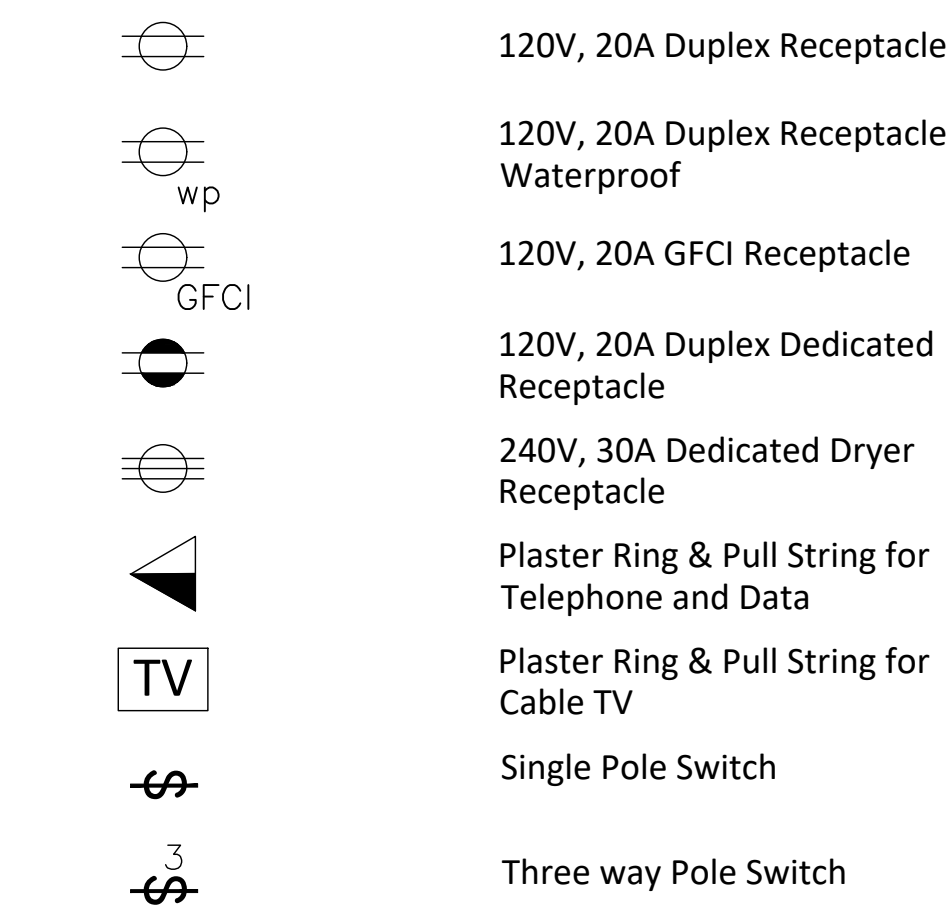
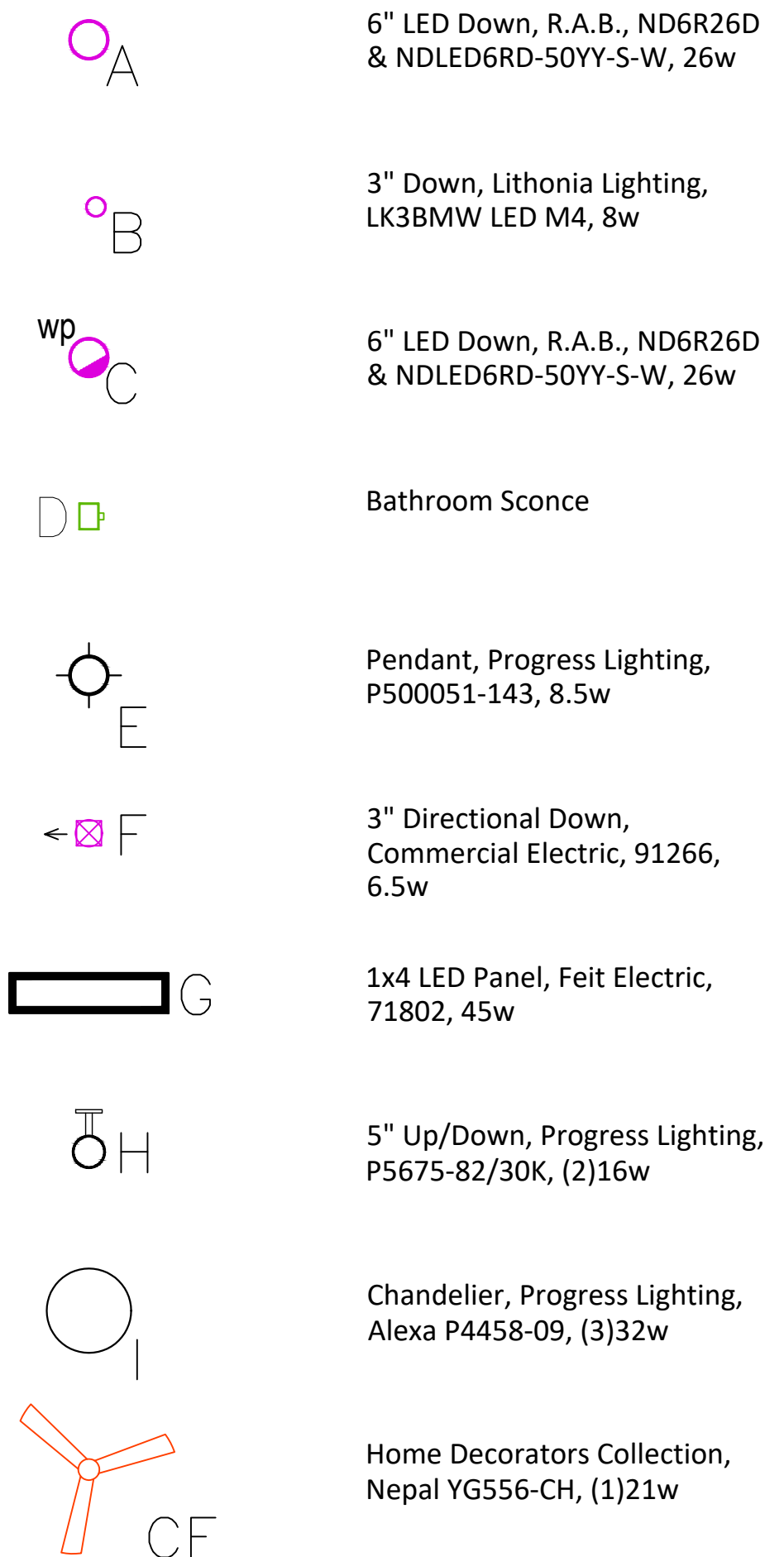
Project number	Project Number
Date	08-12-24
Drawn by	Author
Checked by	Checker

M1

Scale $1/4" = 1'$

Wiring and Conduits:

1. All work shall be done in conformance with all governing codes, including amendments, bulletins, etc. as well as standards of installation for buildings, and equipment and requirements of the Owner.
2. Coordinate all work with other trades to ensure installation is made in accordance with the contract documents.
3. Exact locations and mounting heights of all lighting fixtures, wall outlets, etc. shall be in accordance with the Architectural drawings.
4. All light fixtures shall be specified on the Electrical and/or Architectural drawings.
5. Contractor to be covered with all required, and industry recommended, insurance coverages.
6. Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Cost for such work shall be considered subsidiary to the total amount bid. No separate payment will be made for subsidiary work.
7. Work provided by the Contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.



0 16' 32' 64'

$\frac{1}{4}'' = 1'$

Project number	Project Number
Date	08-06-24
Drawn by	Author
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Piping:

1. All water supply piping shall be type PEX-A, or approved equal. Install cut-off valves on all future sinks, lavatories, and water heaters.

Where PEX pipe and fittings meet or connect to other metals like steel, iron, aluminum, or others, use couplings or fittings equipped with dielectric type materials to separate the contact between PEX and these other metals.

Plumbing and utility lines are shown in approximate locations only. The contractor shall determine the exact location of all utilities.

General Notes:
Provide proper sleeving and sealant for all piping penetrations through outside wall and roof.

Unless otherwise shown in the drawings or specified herein, products used in the work shall be installed in accordance with manufacturer's installation instructions and recommendations. Contractor shall verify rough-in sizes with manufacturer.

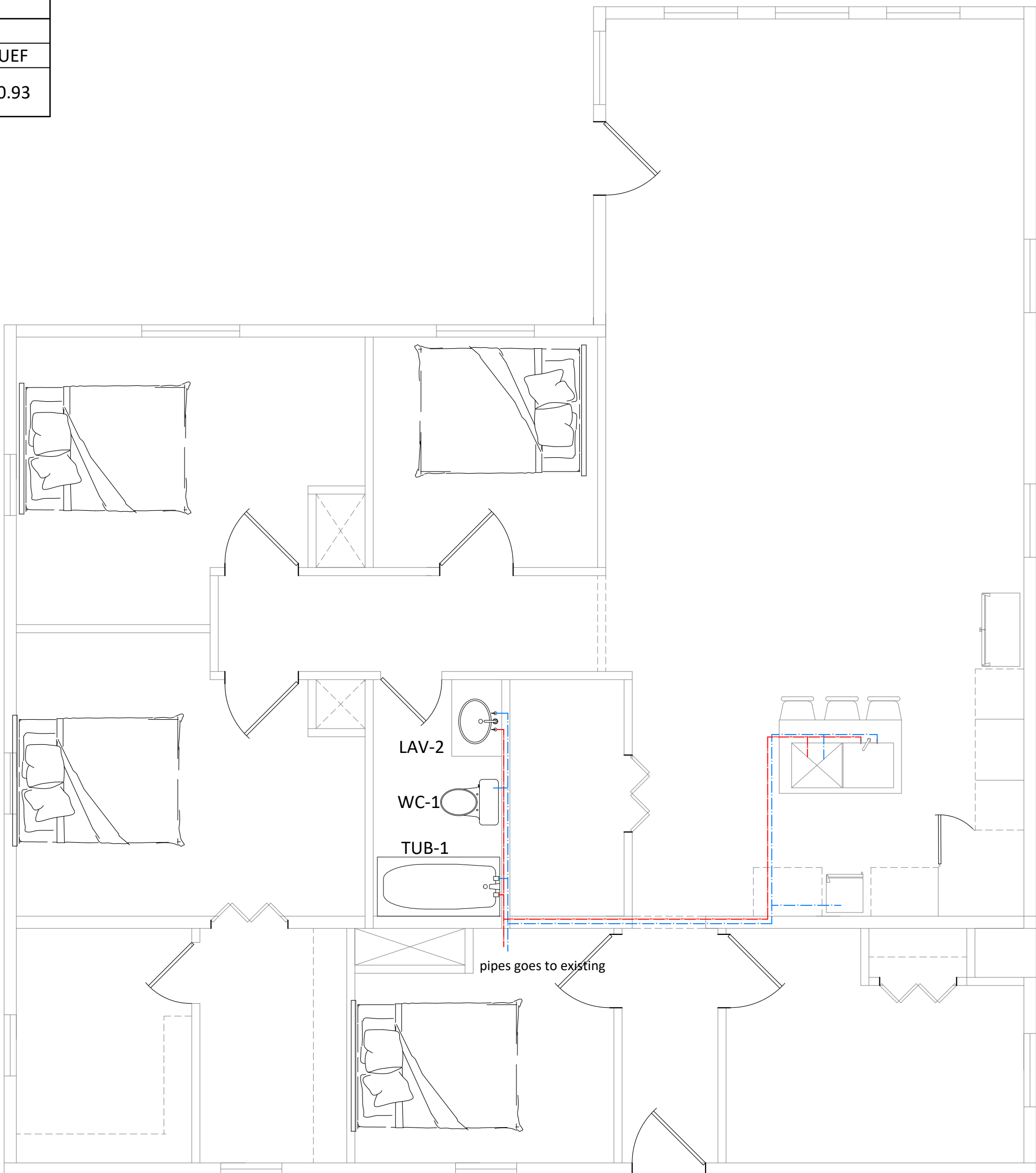
Coordinate all work with other trades to ensure installation is made in accordance with the contract documents.

Contractor to be covered with all required, and industry recommended, insurance coverages.

Drawings are in part diagrammatic and intended to show the scope and general arrangement of the work under the contract. Contractor shall determine the exact location, size and capacity of all utilities before commencing work. Drawings are not intended to be scaled for roughing in measurement nor to serve as shop drawings. Where job conditions require minor changes or adjustments in the indicated locations or arrangement of the work, such change shall be made without a change in the contract amount.

Mark	QT.	Description	C. W.	H. W.	S. S.	Vent	FR
LAV-1		Pedestal Type American Standard Evolution Faucet: Pfister Vega 4" Centerset Single Handle LF-042-VGKK	1/2"	1/2"	1-1/4"	1-1/2"	1.2gpm
LAV-2	2	Drop-in Type Kohler Serif K-2075 Faucet: Pfister Vega 4" Centerset Single Handle LF-042-VGKK	1/2"	1/2"	1-1/4"	1-1/2"	1.2gpm
WC-1	1	Kohler Santa Rosa K-10491	3/8"	---	4"	2"	1.28gpm
TUB-1	---	American Standard Ovation 2647.212 Faucet: Pfister Venturi Single-Handle 1-Spray Tub and Shower 8PB-WS2VNSGS	1/2"	1/2"	2"	1-1/2"	1.8gpm
SH-1	1	Custom w/ Built-In Seat Faucet: Pfister Venturi Single-Handle 1-Spray Tub and Shower 8PB-WS2VNSGS	1/2"	1/2"	2"	1-1/2"	1.8gpm
S-1	1	Undermount Type Kohler Kennon K-RH8185-1-CM1 Faucet: American Standard Montvale 9379315.075	1/2"	1/2"	1-1/2"	1-1/2"	1.8gpm
DW-1	1	To Be Selected by Future Owner	3/8"	---	4"	2"	---
W-1	1	To Be Selected by Future Owner	3/8"	---	4"	2"	---
HB-1	2	Aquor Water Systems HH012-G	1/2"	---	---	---	6.8gpm

WATER HEATER SCHEDULE							
Mark	QT.	Description	Cap.	Elect.	Amps	kW	UEF
WH-1	1	Rheem Performance Plus Electric Tank Water Heater XE50M09EL45U1	50 gal.	240v	18.75	4.5	0.93



0 16' 32' 64'

$\frac{1}{4}'' = 1'$



**PLANS
PREPARED BY**

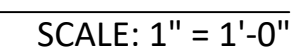
Nick Lokken
Construction & Contracting
www.nicklokken.com/builds
info@nicklokken.com
214-546-9716

**NICK LOKKEN
CONSTRUCTION
& CONTRACTING**

ESTD 1976

**160 RICHTER LANE NEW BRAUNFELS
TX 78130**

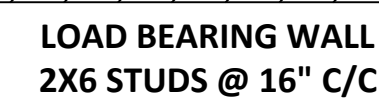
PROPOSED FLOOR PLAN	
Project number	Project Number
Date	08-12-24
Drawn by	Author
Checked by	Checker
P1	
Scale	1/4" = 1'



	SIZE	SPAN	SPACING	NOTES
1	2x10		16" o.c.	



 STHD 14
  HDU8



1

6x6 Post beam 2-2x10

[illegible]

Scale $1/4" = 1'-0"$

2

SCALE 1/4"=1'

Stud Walls:

1. All exterior wall studs shall be 2"x6" at 16" on centers unless noted otherwise.
2. All interior wall studs shall be 2"x4" at 16" on centers, with 5/8" gypsum board on both sides, unless noted otherwise.

3. All columns are to be (3) 2x6 studs, back to back, unless noted otherwise.
4. Beam to Column connections to use Simpson Strong-Tie LCE4 or equal.
5. All headers (H) are to be - (2) 2x10 unless noted otherwise.

6. Continuously sheathed wood structural panel method used. Minimum sheathing thickness is 1/2".
7. All floor joists shall be 2-1/2" x 12" TJI joists.
8. Roof deck to be 3/4" exterior grade plywood sheathing.
9. All roof members shall be 2"x8", unless noted otherwise.
- 10.
11. Roof members to be spaced a maximum of 1'-4" on centers.

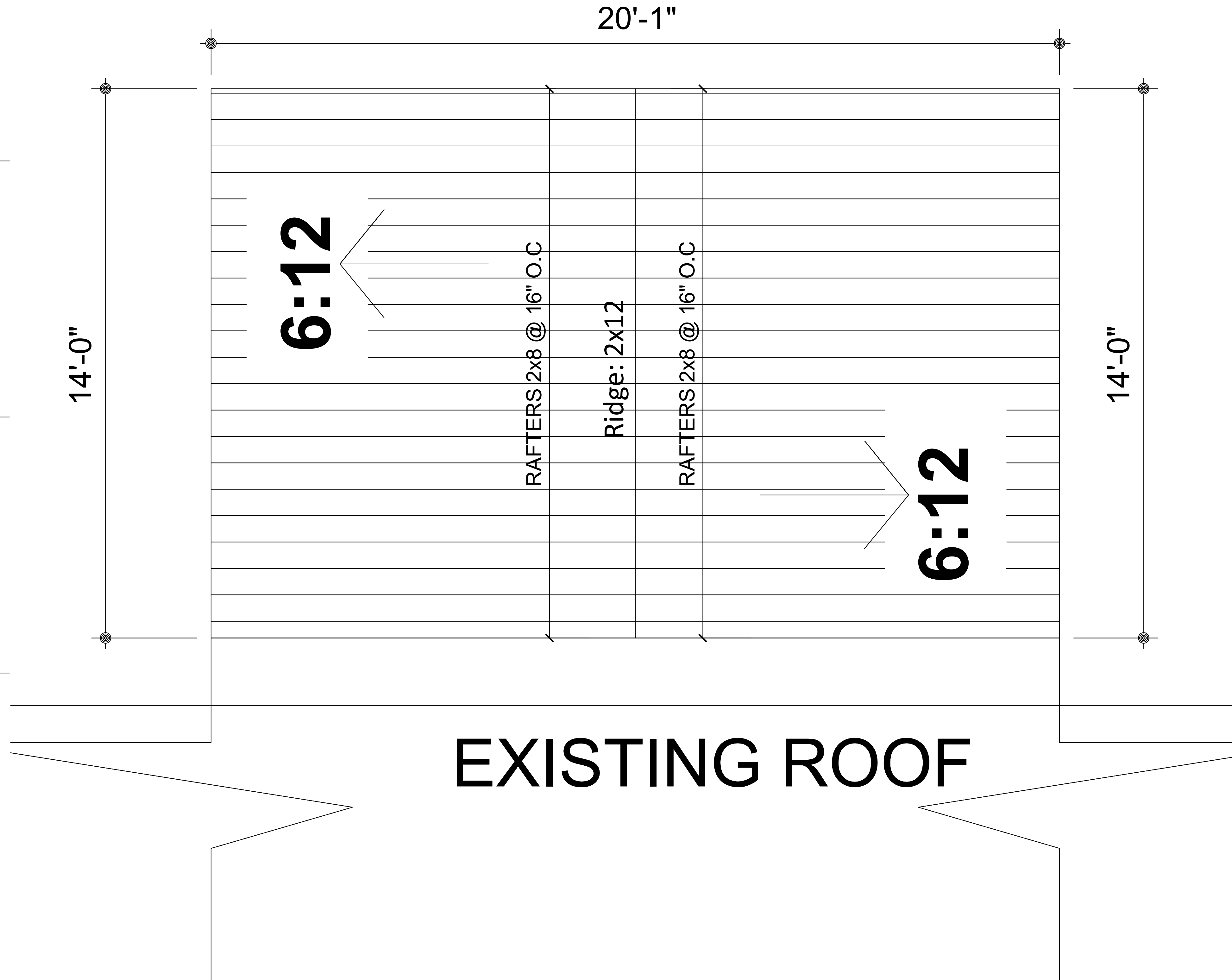
General Notes:
12. All lumber to be Grade No. 1, unless noted otherwise

14. It is the contractor's responsibility to provide any and all shop drawings and ask for Owner/Engineer approval prior to construction.

17. Work provided by the Contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

19. Contractor to be covered with all required and industry recommended insurance coverages.

Contractor to follow all required ACI, ASCI, ASTM, and IBC codes.

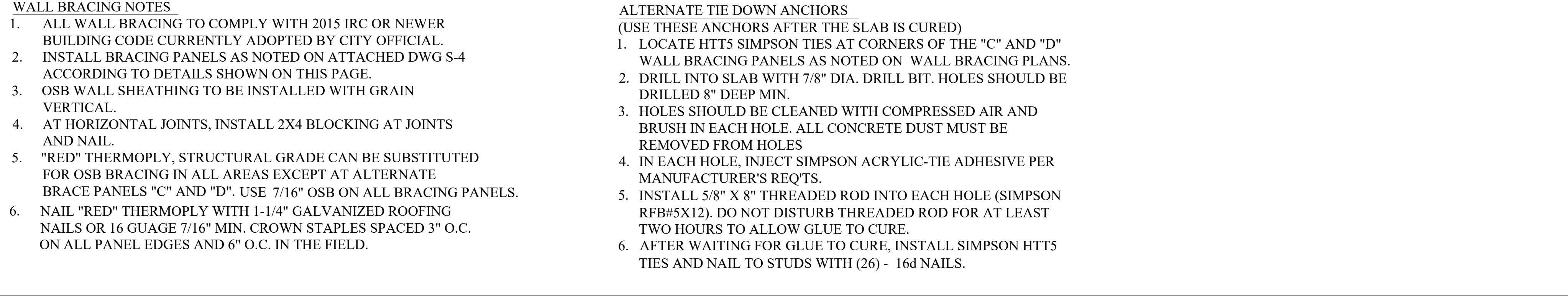
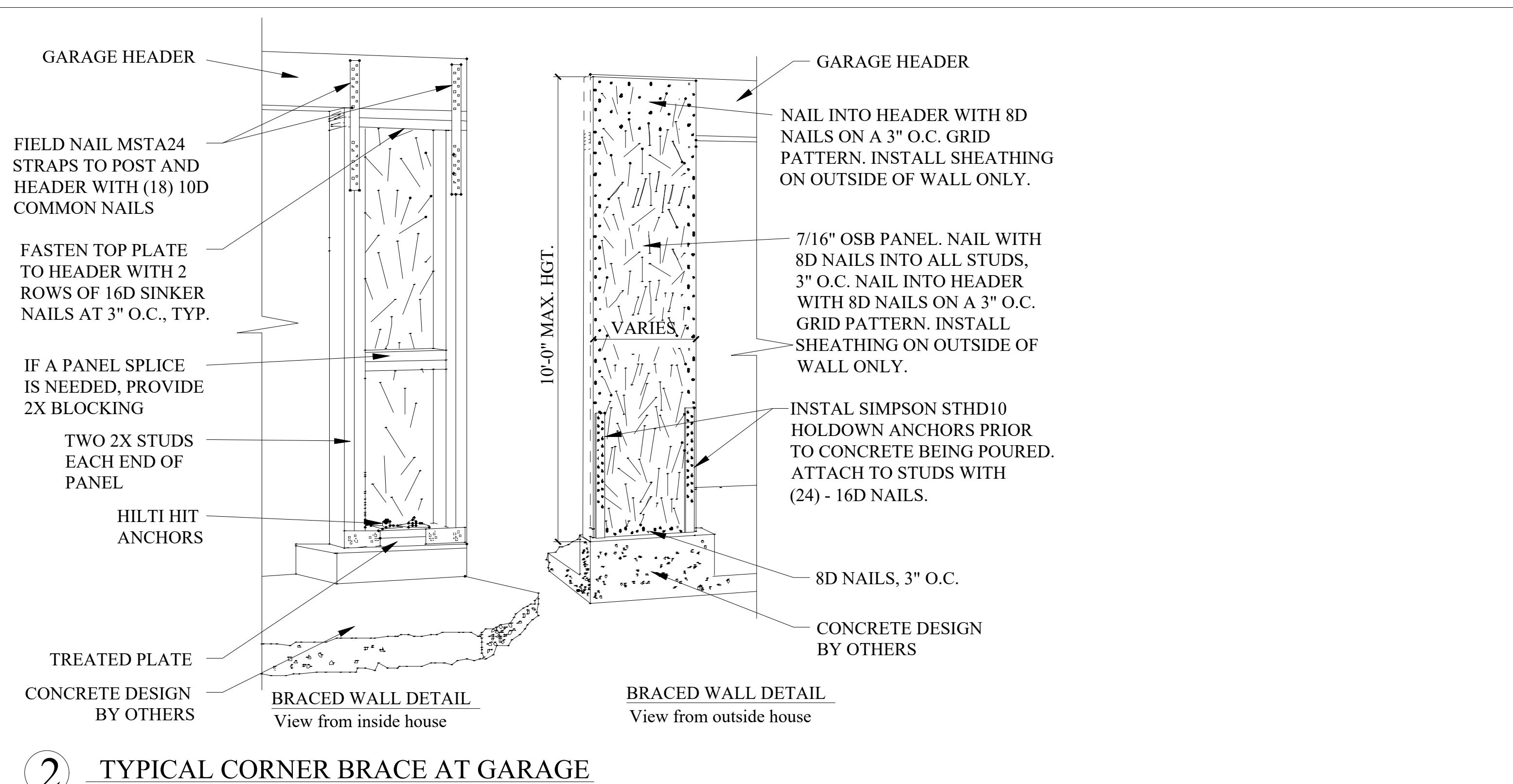
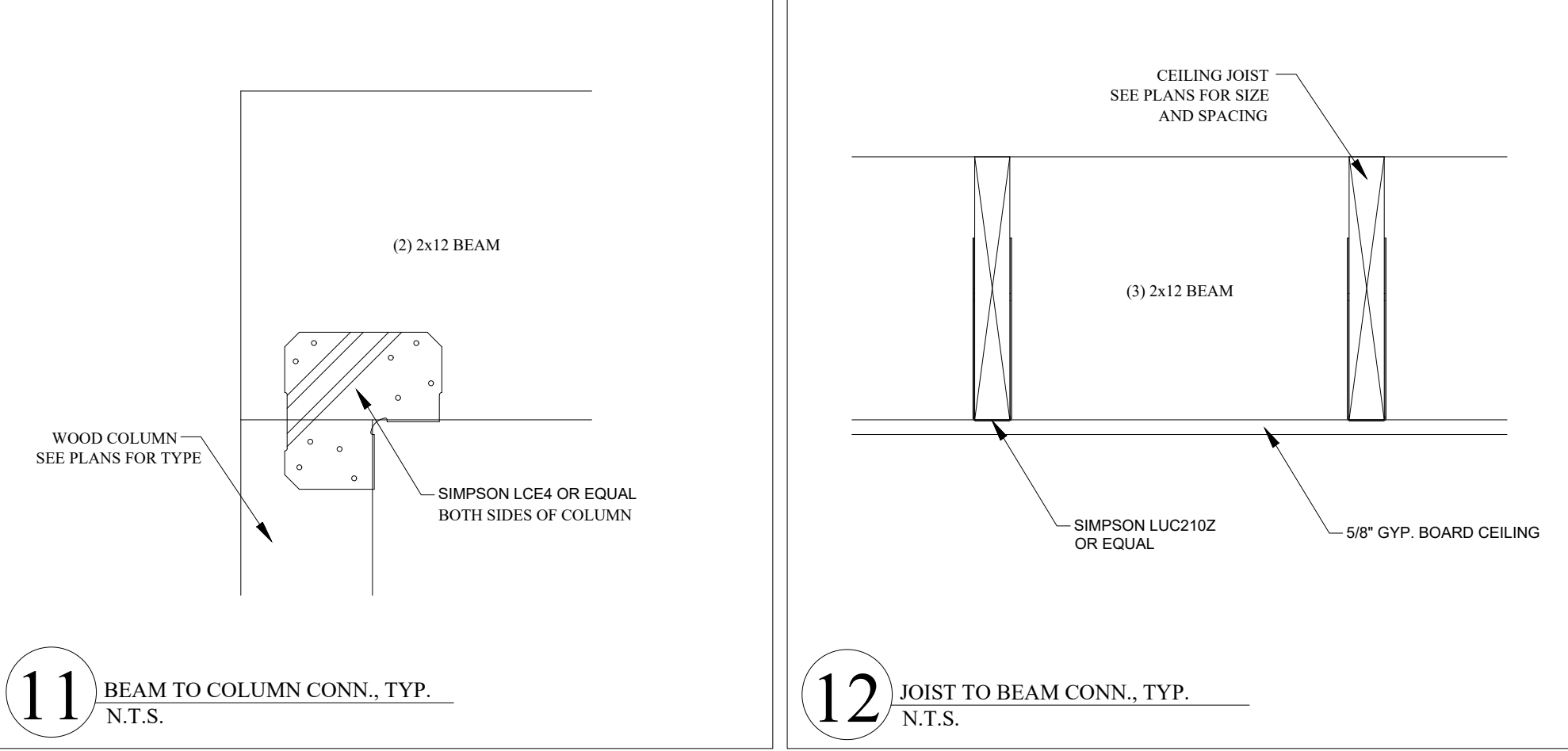
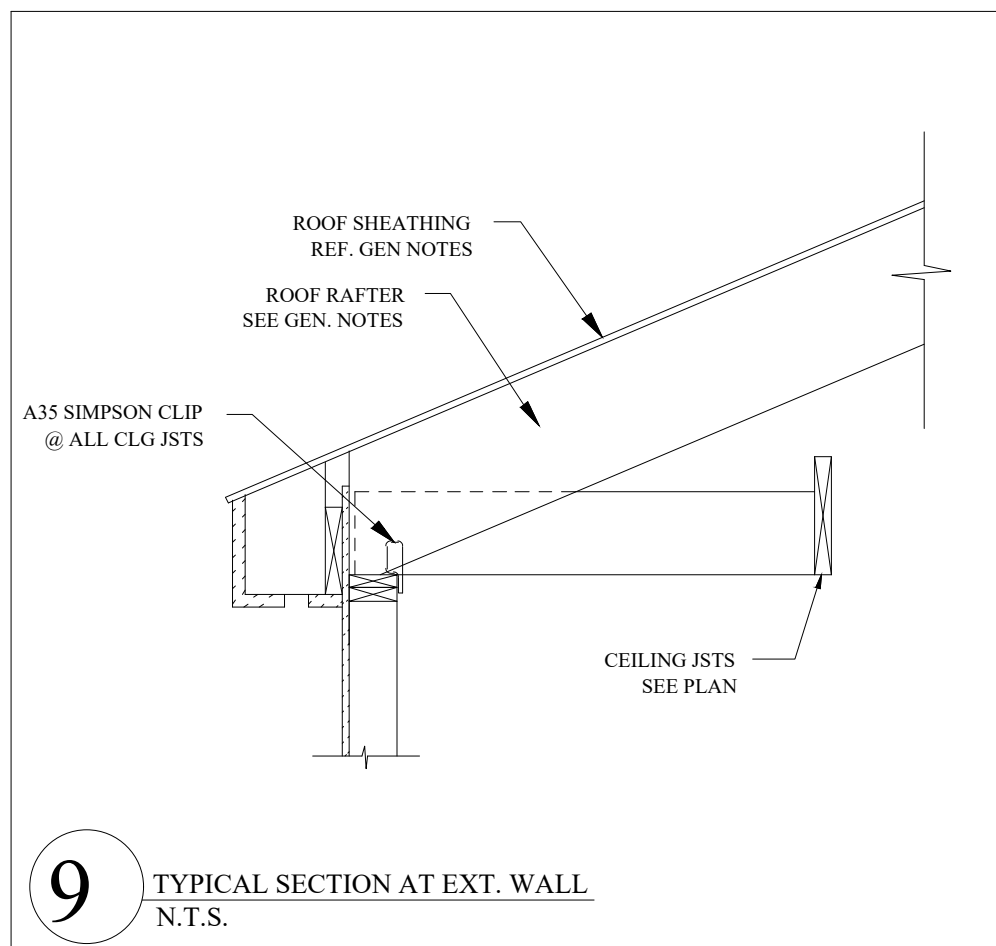
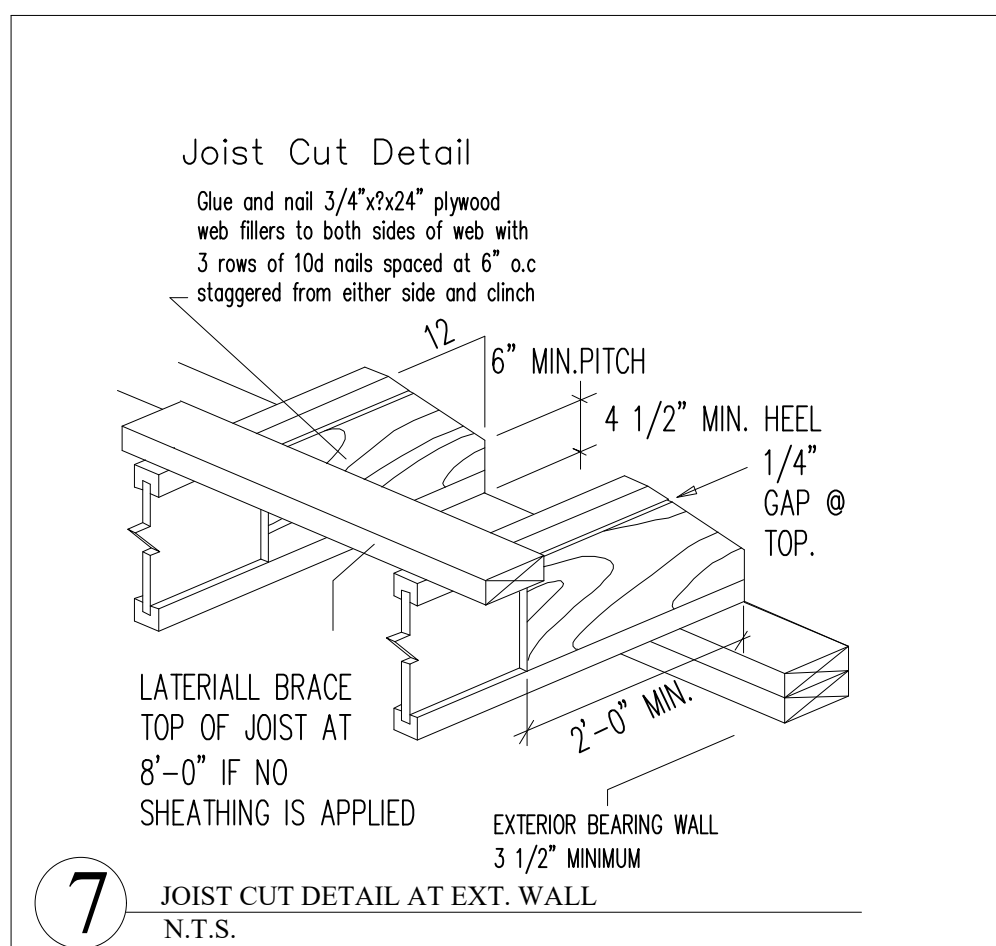


3 ROOF FRAMING PLAN

SCALE 1/4"=1'

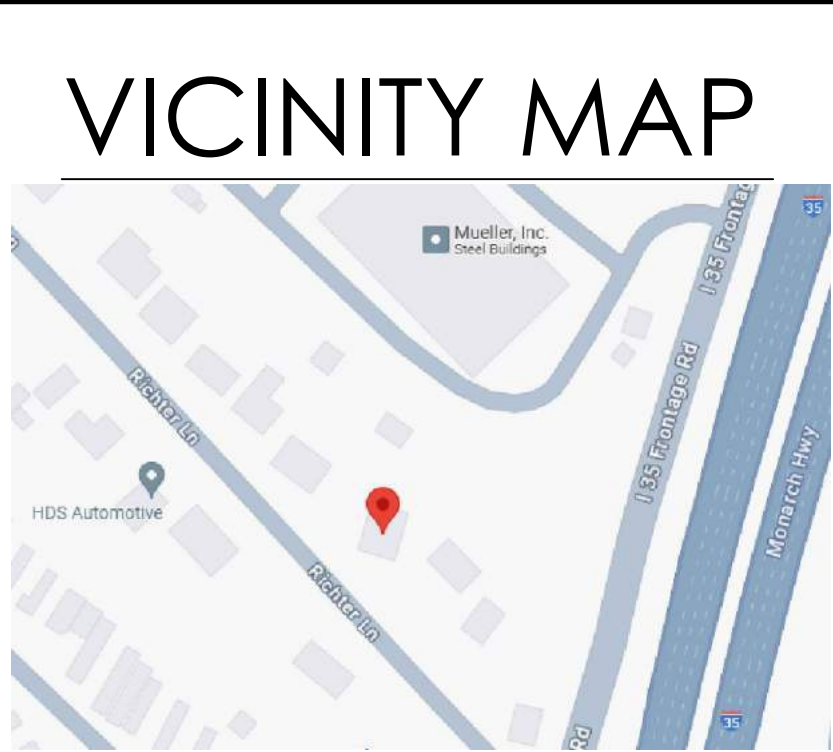
160 RICHTER LANE NEW BRAUNFELS
TX 78130

No.	Description	Date
OWNER:		
ROOF FRAMING PLAN		
Project number		Project Number
Date		6/24/2024
Drawn by		HN
Checked by		NKL
S-4		
Scale	1/4" = 1'-0"	

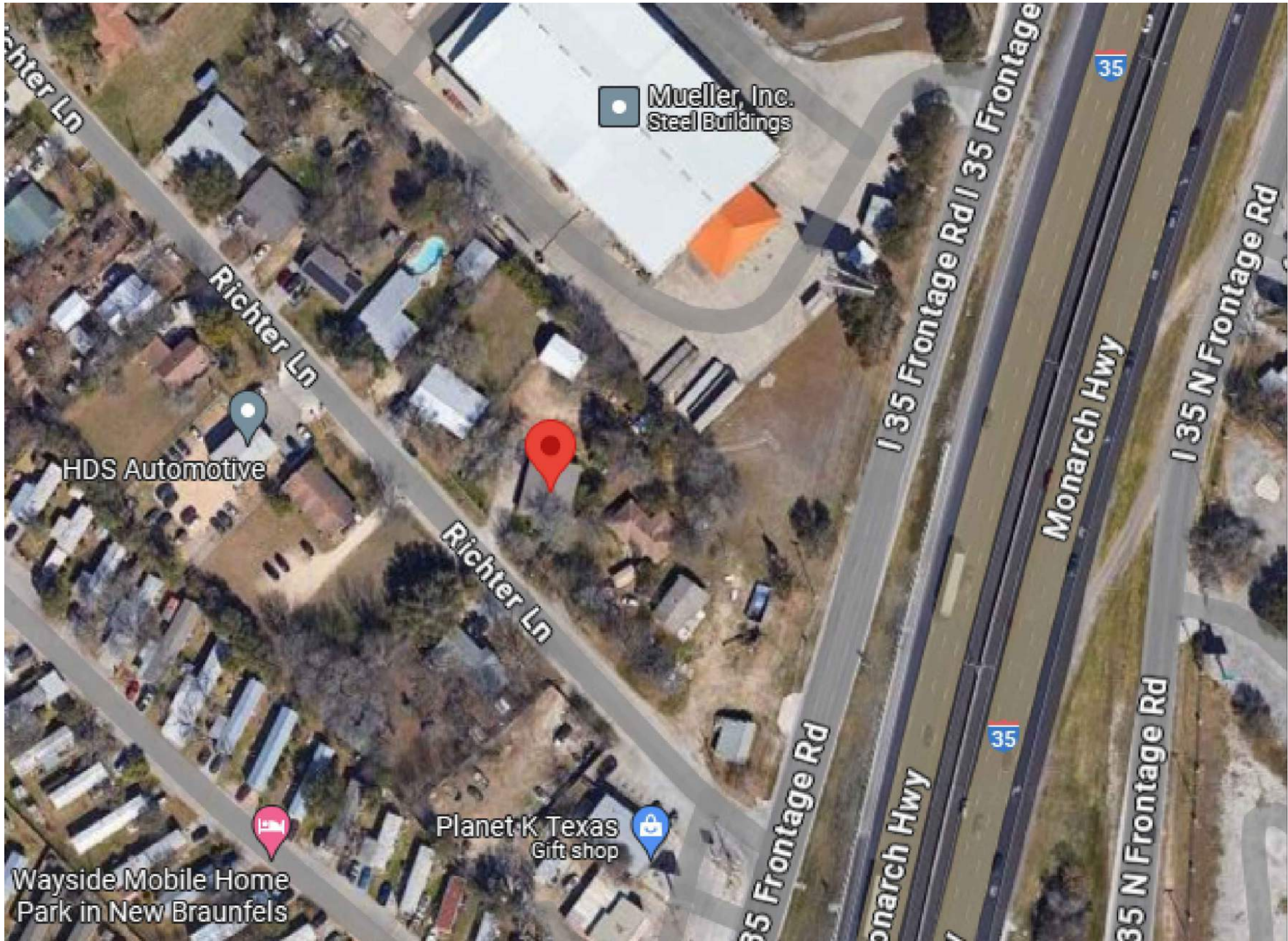


Project number	Project Number
Date	6/24/2024
Drawn by	HN
Checked by	NKL
S-5	
Scale	1/4" = 1'-0"

160 RICHTER LANE NEW BRAUNFELS TX 78130



160 RICHTER LANE NEW
BRAUNFELS
TX 78130



08 / 13 / 2024
DATE



CALL 1-800-344-8377 FOR LOCATES
PRIOR TO ANY EXCAVATION

To the best of our knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. GTCE is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

SHEET INDEX

CIVIL DRAWINGS

- COVER PAGE
C-1.0 GENERAL NOTES
C-2.0 EXISTING CONDITIONS
C-3.0 SITE PLAN
C-4.0 GRADING PLAN
C-5.0 LANDSCAPING AND IRRIGATION PLAN
C-6.0 EROSION CONTROL PLAN

PROJECT DESCRIPTION:

1. THE LAND PROPOSED FOR DEVELOPMENT A TOTAL OF 1.10 ACRES.
2. THE TYPE OF CONSTRUCTION IS WOOD FRAMING.
3. ALL UTILITY IS DESIGNED UNDERGROUND AS PER CITY OF BEAUMONT STANDARDS AND SPECIFICATIONS.

GENERAL CONSTRUCTION NOTES

1. THE TEXAS STANDARD SPECIFICATIONS 2014 WILL GOVERN ALL SPECIFICATIONS NOT DIRECTLY ADDRESSED IN THIS DOCUMENT. THE CONTRACTOR WILL ESTABLISH THE PROJECT CONTROL POINT, POINTS OF TANGENCY, PIS (POINTS OF INTERSECTIONS), POINT OF CURVATURE (PC'S AND PTS), AND BENCHMARK ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ASSUME OWNERSHIP FOR ALL DESIGNATED WASTE MATERIAL AND DISPOSE OF IT AT A PLACE OFF OF THE RIGHT OF WAY, AS APPROVED BY THE ENGINEER. ALL QUANTITIES SHOWN ON PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. THESE QUANTITIES ARE IN PLACE AND CONSIDERED PAY QUANTITIES. CONTRACTOR IS TO VERIFY ALL QUANTITIES PRIOR TO ORDERING ANY MATERIAL. IF ANY DISCREPANCIES ARE FOUND, CONTRACTOR IS TO NOTIFY ENGINEER IN A TIMELY FASHION SO THAT ADJUSTMENTS MAY BE MADE (IF NECESSARY). DIRECT ATTENTION TO COMPLY WITH ALL ORDINANCES AND REGULATIONS OF LOCAL MUNICIPAL AND COUNTY GOVERNMENTS AND THE TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY), WHICH MAY BE APPLICABLE ON THIS PROJECT. THIS WILL NOT BE PAID FOR DIRECTLY AND WILL BE CONSIDERED SUBSIDIARY TO VARIOUS BID ITEMS. PROCUREMENT ALL THE NECESSARY CITY AND/OR COUNTY AND DRAINAGE DISTRICT 6 PERMITS AND LICENSES BEFORE THE START OF THIS PROJECT. THIS WILL NOT BE PAID FOR DIRECTLY AND WILL BE CONSIDERED SUBSIDIARY TO VARIOUS BID ITEMS. THE APPROXIMATE LOCATION OF THE KNOWN UNDERGROUND UTILITY INSTALLATIONS IS AS SHOWN ON THE PLANS. CONFIRM THE LOCATION OF THESE UTILITY LINES AND THE EXACT LOCATION OF ANY OTHERS WHICH MAY EXIST. ASSUME FULL RESPONSIBILITY FOR NOTIFYING THE UTILITY INVOLVED IN CASE OF CONFLICT OR DAMAGE AND HE/SHE SHALL BE RESPONSIBLE FOR DAMAGE THAT OCCURS DUE TO HIS/HER NEGLIGENCE. REMOVE AND DISPOSE OF ABANDONED LINES ENCOUNTERED THAT INTERFERE WITH THE CONSTRUCTION OF THIS PROJECT. CONSIDER THIS WORK TO BE SUBSIDIARY TO THE VARIOUS BID ITEMS OF THE CONTRACT. BEFORE EXCAVATING, CONTRACTOR TO CONTACT UTILITY COMPANIES WITH EXISTING FACILITIES IN THE AREA OF CONSTRUCTION AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION. WHEN UTILITY POLES NEED TO BE RELOCATED, TO FACILITATE CONSTRUCTION, THE CONTRACTOR IS TO NOTIFY THE PROPER UTILITY COMPANIES AT LEAST TWO (2) WEEKS BEFORE BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING FACILITY IN ACCORDANCE WITH ALL FEDERAL, STATE, & LOCAL GOVERNING CODES, ORDINANCES AND REGULATIONS PERTAINING TO COMMERCIAL CONSTRUCTION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE BUILDING INSPECTED & TESTED BY AN APPROVED INSPECTION AGENCY WITH THE CITY OF BEAUMONT FOR THE COMPLIANCE OF IECC 2015.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE BUILDING AND SITE MEET TEXAS ACCESSIBILITY STANDARDS AND ADA REGULATIONS. SEE ADA SHEETS.
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE METAL BUILDING DESIGN MATCHES THESE DRAWINGS. IF THE CONTRACTOR PURCHASES THE METAL BUILDING, THEN ANY FINANCIAL EXPENSE, INCLUDING BUT NOT LIMITED TO CONSTRUCTION COST AND ADDITIONAL DESIGN CHANGE FEE DUE TO METAL BUILDING DRAWINGS NOT MATCHING THESE DRAWINGS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF THE OWNER PURCHASES THE METAL BUILDING AND APPROVES THE DRAWINGS WITHOUT THE CONTRACTORS KNOWLEDGE THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE METAL BUILDING DRAWINGS AND VERIFY THEY MATCH THESE DRAWINGS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL NOTIFY GTCE IF METAL BUILDING DOES NOT MATCH THESE DRAWINGS BEFORE CONSTRUCTION BEGINS SO DESIGN CAN BE MODIFIED. IF CONSTRUCTION BEGINS WITHOUT NOTIFYING GTCE OF DISCREPANCIES OR NOT VERIFYING DRAWINGS THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FEE INCURRED FOR DESIGN CHANGES.
6. CONTRACTOR SHALL PROVIDE COMM CHECK.
7. ALL COUNTERS SHALL BE DESIGNED BY OTHERS.
8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS FOR EQUIPMENT AND SHALL NOTIFY OWNER OF ANY DISCREPANCIES.
9. INSTALL KNOX BOX PER CITY OF BEAUMONT REQUIREMENTS.

GENERAL NOTES FOR PAVING OPERATIONS

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE INDEPENDENT TESTING LABORATORY TO TAKE ALL SAMPLES OF AND TEST CONCRETE, MAKE AND TEST ALL BEAMS AND CYLINDERS IN ACCORDANCE WITH THE APPROVED TEST METHODS AND THE APPROPRIATE STANDARD SPECIFICATIONS FOR THE VARIOUS ITEMS.
2. ALL DOWELS USED FOR EXPANSION AND CONSTRUCTION JOINTS MUST BE SUPPORTED ADEQUATELY TO INSURE THEIR POSITION WILL BE MAINTAINED DURING CONSTRUCTION OPERATIONS.
3. ALL JOINTS SHALL BE SEALED WITH A TXDOT 2004 DMS-6310, CLASS 5 SEALANT.
4. ALL SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PLACING AND FILL. ANY SOFT AREAS SHALL BE EXCAVATED AND BACKFILLED WITH AN APPROVED MATERIAL AND COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY. REFER TO GEOTECHNICAL REPORT.
5. T.C. AND T.P. INDICATE TOP OF CURB AND TOP OF PAVEMENT ELEVATIONS.

GENERAL NOTES FOR SANITARY SEWER INSTALLATION

1. ALL SANITARY SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 OR CL 150 PVC 160 PSI PIPE AND SHALL CONFORM TO ASTM D1784. ALL SANITARY SEWER LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS
2. ALL SANITARY SEWER LINES UNDER THE PAVEMENT OR WITHIN FIVE (5) FEET OF THE BACK OF CURBS ARE TO BE BACKFILLED WITH (1 1/2 SACKS/CY) OF CEMENT STABILIZED SAND TO THE BOTTOM OF THE PAVEMENT SUBGRADE. ALL OTHER LINES SHALL BE BACKFILLED TO ONE (1) FOOT ABOVE THE FLOWLINE. ALL BACKFILLING AND BEDDING MATERIALS WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED SUBSIDIARY TO THE VARIOUS BID ITEMS.
3. DURING CONSTRUCTION A FIVE (5) LONG 2"x4" STAKE, PAINTED RED, SHALL BE DRIVEN INTO THE GROUND ADJACENT TO ALL SERVICE WYES AND SANITARY CLEANOUTS FOR PROTECTION DURING CONSTRUCTION.
4. WATER UTILIZED FOR TESTING PURPOSES OR INFILTRATED THE SEWER LINES SHALL BE PUMPED OUT AND DISPOSED OF BY THE CONTRACTOR PRIOR TO FINAL INSPECTION AT THE CONTRACTOR'S COST.
5. ALL SANITARY SEWER MANHOLES WHOSE EXCAVATION COMES WITHIN FIVE (5) FEET OF EXISTING, PROPOSED, OR FUTURE PAVEMENT WILL BE BACKFILLED WITH CEMENT STABILIZED SAND FOR THE ENTIRE AREA OF EXCAVATION TO A POINT ONE (1") FOOT BELOW TOP OF PAVEMENT SUBGRADE OR ONE (1") BELOW NATURAL GROUND OR FINISHED GRADE WHICHEVER IS LOWER WHEN OUTSIDE OF PAVEMENT. THE CEMENT STABILIZED SAND, CONSISTING OF (1 1/2 SACKS/CY), IS TO BE THOROUGHLY COMPACTED. THE REMAINING BACKFILL ABOVE THIS LEVEL IS TO BE COMPACTED SELECT MATERIAL.
6. ALL SANITARY SEWER MANHOLE OPENINGS, STUBS AND PLUGS SHALL BE INCLUDED IN THE COST OF INSTALLING MANHOLE.
7. CONNECTING ALL PROPOSED SANITARY SEWER LINES TO EXISTING OR PROPOSED MANHOLES OR JUNCTION BOXES WILL NOT BE PAID FOR SEPARATELY BUT WILL BE INCIDENTALS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL INSTALL SANITARY SEWER SERVICES LINES USING PVC SCHEDULE 40(AS TM D1785) IN ACCORDANCE WITH THE DETAILS IN THIS CONTRACT.
9. CONTRACTOR SHALL CONTACT CITY INSPECTION OFFICE 5 DAYS PRIOR TO BEGINNING CONSTRUCTION. SEE NOTE FOR CITY NOTIFICATION ON THIS SHEET.

GENERAL NOTES:

1. EXCLUSIVE WATER UTILITY EASEMENT DOCUMENTS (INCLUDING EASEMENT DESCRIPTION PREPARED BY A TEXAS PROFESSIONAL LAND SURVEYOR AND THE EASEMENT DOCUMENTS SIGNED BY THE OWNER) WILL BE REQUIRED BEFORE WATER TAPS WILL BE MADE BY THE CITY. NO EXCEPTIONS. GUIDELINES FOR SUBMITTING EASEMENT DOCUMENTS MAY BE PICKED UP FROM THE REAL PROPERTY COORDINATOR AT 801 MAIN ST., ROOM 200, ENGINEERING DIVISION OR CALL (409) 880-3725.
2. ALL WATER MAINS AND FIRE LINES TO BE INSTALLED TO CITY SPECIFICATIONS.
3. 24 HOURS NOTICE IS REQUIRED PRIOR TO ANY INSTALLATIONS OR INSPECTIONS. CALL (409)-785-3019 OR (409)-785-3001.
4. PLUMBING CONTRACTOR TO MAKE FINAL TIE IN TO WATER METER.
5. CITY FORCES WILL MAKE TAP, INSTALL VALVE AND/OR SET WATER METERS AT THE EXPENSE OF THE CONTRACTOR.
6. NO STRUCTURES OR APPURTENANCES SHALL BE PLACED WITHIN THE EASEMENT PROPERTY.
7. THE CITY WILL NOT BE RESPONSIBLE FOR ANY SURFACE RESTORATION WHEN WATER AND/OR SANITARY SEWER REPAIRS ARE NECESSARY WITHIN THE CITY OF BEAUMONT WATERLINE AND/OR SANITARY SEWER LINE EASEMENT.
8. PLUMBING CONTRACTOR IS TO MAKE SEWER TAPS AND/OR INSTALL SANITARY SEWER MANHOLE TO CITY SPECIFICATIONS AND BE INSPECTED BY THE WATER UTILITIES CONSTRUCTION PROJECT MANAGER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE CITY OF BEAUMONT'S INSPECTION REQUIREMENTS AND COORDINATE WITH THE CITY OF BEAUMONT STAFF THE DATES AND TIMES OF INSPECTIONS.
10. ALL CONSTRUCTION AND TESTING SHALL MEET THE CITY OF BEAUMONT REGULATIONS, CODES AND ORDINANCES.
11. ALL WATER AND WASTEWATER MAINS INCLUDING BUT NOT LIMITED TO PIPE, MANHOLES, FIRE HYDRANTS CLEANOUTS, VALVES, ETC. SHALL BE INSTALLED AS PER THE CITY OF BEAUMONT'S STANDARD DETAILS, DRAWINGS AND SPECIFICATIONS.
12. ALL TRENCHES UNDER PAVEMENT SHALL BE FILLED WITH CEMENT STABILIZED SAND.

GENERAL NOTES FOR WATER INSTALLATION

1. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING WATERLINES LOCATED WITHIN THE PROJECT LIMITS.
2. ALL UTILITIES SHOWN ARE FOR INFORMATIONAL PURPOSES AND THEIR EXACT LOCATION MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION.
3. CONTRACTOR TO EXPOSE AND VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING WATER LINES AT PROPOSED CONNECTION LOCATIONS PRIOR TO ANY CONSTRUCTION.
4. FITTINGS WILL NOT BE PAID FOR DIRECTLY BUT SHALL BE INCLUDED IN THE UNIT BID PRICE PER LINEAR FOOT OF PIPE.
5. PROPOSED WATER LINES SHALL BE A MINIMUM OF 3' COVER BELOW FINISHED GRADES. VARYING FLOW LINES UNIFORMLY TO DEPTHS AND LOCATIONS AS SHOWN ON THE PLANS.
6. CONTRACTOR TO PROVIDE VALVE BOX EXTENSIONS WHERE REQUIRED TO CONSTRUCT VALVE BOXES FLUSH WITH PROPOSED FINISHED GRADE. NO DIRECT PAYMENT WILL BE MADE FOR THIS WORK. CONSIDER THIS WORK TO BE SUBSIDIARY TO THE VARIOUS BID ITEMS.
7. CONTRACTOR TO PROVIDE ADEQUATE CONCRETE THIRST BLOCKING TO WITHSTAND TEST PRESSURES OR TO PROVIDE FITTINGS WITH RESTRAINED JOINTS.
8. ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO THE AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION (ANSI/NSF) STANDARD 6 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI.
9. ALL PLASTIC PIPE USED IN PUBLIC WATER SYSTEMS MUST BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL AND HAVE AN ASTM PRESSURE RATING OF AT LEAST 150 PSI.
10. WATERLINES SHALL BE INSTALLED AS DETAILED ON THE PLAN SHEETS. FIELD ADJUSTMENTS MAY BE NECESSARY TO AVOID UNFORESEEN OBSTRUCTIONS.
11. CONTRACTOR IS MADE AWARE THAT THE OWNER MAY NOT HAVE THE ABILITY TO ISOLATE EXISTING WATER LINES FOR TIE-INS. CONNECTIONS TO THE CITY WATER MAINS SHALL BE PERFORMED BY THE WATER UTILITIES DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST FOR THIS WORK AND SHALL COORDINATE HIS WORK WITH THE CITY. COST OF THE TIE-INS SHALL BE INCLUDED IN THE UNIT BID PRICE PER LINEAR FOOT TO WATERLINES.
12. ALL WATER METERS SHALL BE INSTALLED WITHIN THE PROPOSED UTILITY EASEMENT.
13. ALL WATER MAINS (AND FIRE HYDRANT LEADS, IF PROPOSED) WILL BE HYDROSTATICALLY TESTED PRIOR TO ACCEPTANCE BY THE CITY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR TESTING AND THE COST FOR TESTING SHALL BE CONSIDERED SUBSIDIARY TO THE VARIOUS BID ITEMS ON THE CONTRACT. ALL TESTING SHALL BE WITNESSED BY THE INSPECTOR. ANY SEGMENTS OF LINE NOT PASSING THE REQUIRED TESTS SHALL BE PROMPTLY CORRECTED.
14. BACTERIOLOGICAL AND PRESSURE TESTING TO BE WITNESSED BY THE WATER UTILITIES CONSTRUCTION INSPECTOR. NOTIFY THE UTILITY DEPARTMENT 48 HOURS PRIOR TO TESTING.

DEVIATION FROM THE DRAWINGS

ANY DEVIATION FROM THE ORIGINAL DESIGN MUST BE APPROVED BY THE ENGINEER FIRST.

CONTRACTOR'S RESPONSIBILITY

- SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. GOLDEN TRIANGLE CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR OR HAVE THE ABILITY TO CHANGE OR DIRECT THE PROCEDURES, METHODS, MEANS TECHNIQUES AND WORK SEQUENCE USED BY THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THE WORK IS COMPLETED AS PER THE PLANS PROVIDED BY GOLDEN TRIANGLE CONSULTING ENGINEERS AND ANY CHANGES/ADDITIONS RECOMMENDED BY GOLDEN TRIANGLE CONSULTING ENGINEERS DURING THE CONSTRUCTION PHASE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE CIVIL AND ARCHITECTURAL DRAWINGS COINCIDES WITH THE STRUCTURAL DRAWINGS PRIOR TO COMMENCING THE CONSTRUCTION. ANY DISCREPANCIES MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ANY TESTING THAT MIGHT BE REQUIRED BY THE AUTHORITIES AND AGENCIES (CITY, COUNTY, ETC.) THAT HAVE JURISDICTION IN THE AREA WHERE THE STRUCTURE IS BEING BUILT.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE DIMENSIONS TO ENSURE THEY MATCH WITH THE DRAWINGS PROVIDED BY THE ENGINEER AND THE ARCHITECT.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY GOLDEN TRIANGLE CONSULTING ENGINEERS OF ANY CHANGES DURING THE CONSTRUCTION THAT WILL REQUIRE A DESIGN BY THE ENGINEER. CHANGES NOT APPROVED BY THE ENGINEER MAY NOT BE ACCEPTED.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY FINISH FLOOR ELEVATION.

GENERAL NOTES FOR CITY OF BEAUMONT WATER AND SEWER INSTALLATION

TECHNICAL SPECIFICATIONS AND STANDARD DRAWINGS CAN BE FOUND ON THE CITY'S WEBSITE: www.beaumonttexas.gov

CONTRACTOR IS TO USE THESE STANDARDS UNLESS OTHERWISE NOTED ON THE PLANS.

TECHNICAL SPECIFICATIONS

https://beaumonttexas.gov/wp-content/uploads/pdf/water/water_technical_specifications.pdf

STANDARD DRAWINGS

https://beaumonttexas.gov/wp-content/uploads/pdf/water/water_standards.pdf

FURNISH AND INSTALL FIRE HYDRANT ASSEMBLY COMPLETE IN PLACE, OF THE TYPE DARLING B-84-B OR APPROVED EQUAL IN ACCORDANCE WITH PLANS, SPECIFICATIONS.

ALL WATER AND SANITARY SEWER LINES WILL BE TESTED PRIOR TO CITY ACCEPTANCE. PLUMBING CONTRACTOR TO MAKE SEWER TAPS AND/OR INSTALL SANITARY SEWER MANHOLE TO CITY SPECIFICATIONS AND BE INSPECTED BY THE WATER UTILITIES CONSTRUCTION PROJECT MANAGER. ALL WATER MAINS AND FIRE LINES TO BE INSTALLED TO CITY SPECIFICATIONS.

48-HOUR NOTICE IS REQUIRED PRIOR TO ANY INSTALLATIONS OR INSPECTIONS CALL (409) 785-3019 OR (409) 785-3001.

INSTALL A CLEAN OUT AT THE PROPERTY LINE PER CITY SPECIFICATIONS.

THE CITY FORCES WILL MAKE TAP, INSTALL VALVE, AND/OR SET WATER METERS AT THE EXPENSE OF THE CONTRACTOR.

NO STRUCTURES OR APPURTENANCES SHALL BE PLACED WITHIN EASEMENT PROPERTY. THE CITY WILL NOT BE RESPONSIBLE FOR ANY SURFACE RESTORATION WHEN WATER AND/OR SANITARY SEWER REPAIRS ARE NECESSARY WITHIN THE CITY OF BEAUMONT WATER LINE OR SANITARY SEWER EASEMENT.

PLUMBING CONTRACTOR TO MAKE ALL FINAL TIE-IN TO THE WATER METER.

NOTE:

1. ALL WATER LINES SHALL HAVE MIN. OF 3 FOOT COVER.
2. THE CONTRACTOR WILL PERFORM THE TAPS ON THE PROPOSED WATER LINE AND THE CITY WILL INSTALL THE METERS AT THE CONTRACTOR'S EXPENSE. THIS INCLUDES ALL DOMESTIC AND IRRIGATION METERS.
THE PLUMBING CONTRACTOR MUST COMPLY WITH THE CITY OF BEAUMONT BUILDING CODE REQUIREMENTS.
3. THE PLUMBING CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

Where a new potable waterline parallels a new wastewater main, the wastewater main or lateral shall be constructed of at least 150 psi pressure-rated pipe. The new potable waterline shall be located at least two feet above the wastewater main or lateral, measured vertically, and at least four feet away, measured horizontally, from the wastewater main or lateral.

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160 RICHTER LANE NEW BRAUNFELS
TX 78130

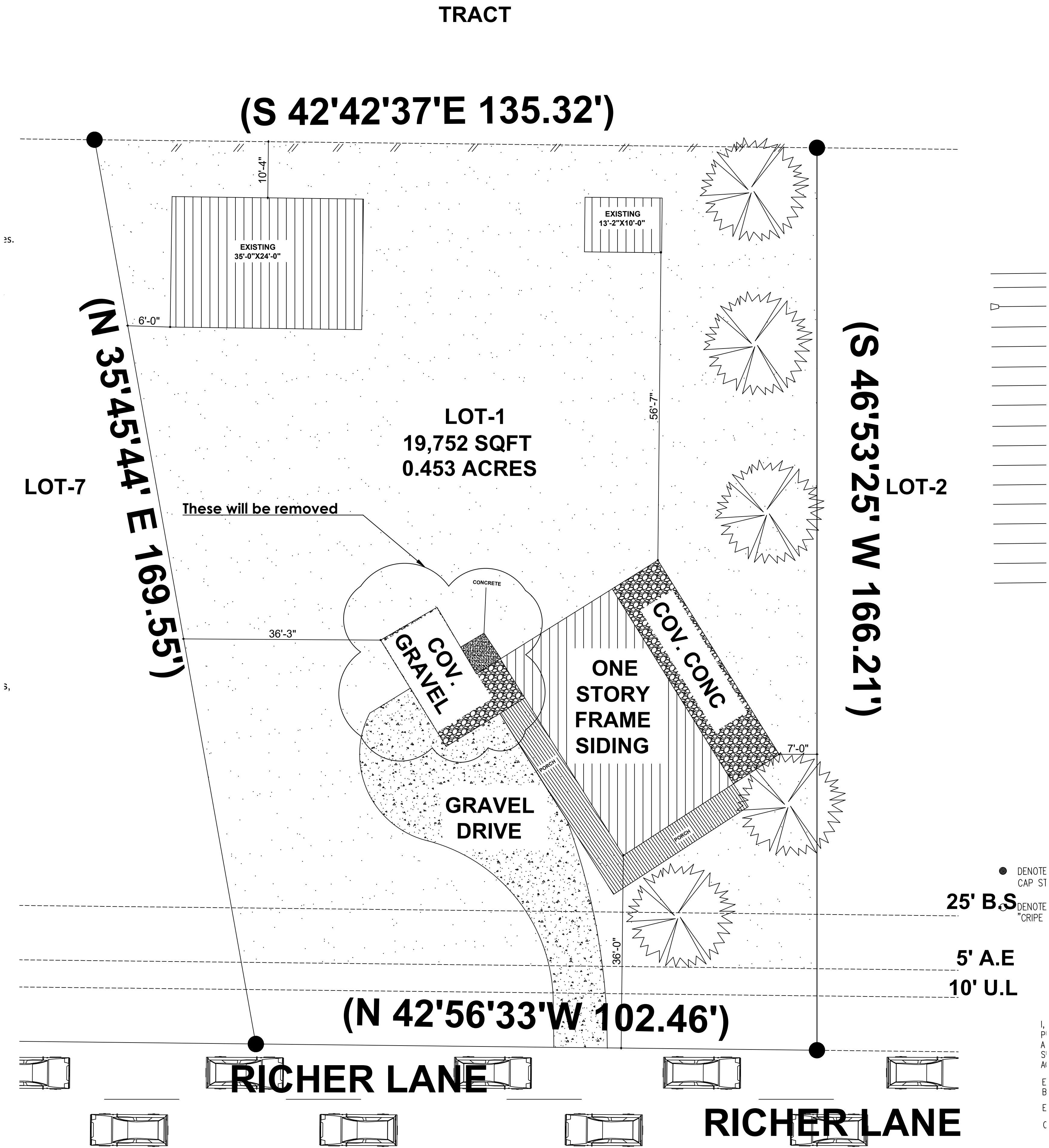
No.	Description	Date

OWNER:

1 : 20

EXISTING CONDITIONS	
Project number	Project Number
Date	6/24/2024
Drawn by	HN
Checked by	NKL
C-2.0	
Scale	1/4" = 1'-0"

EXISTING CONDITION
SCALE 1: 20



(817) - 894 - 6234
www.nicklokken.com

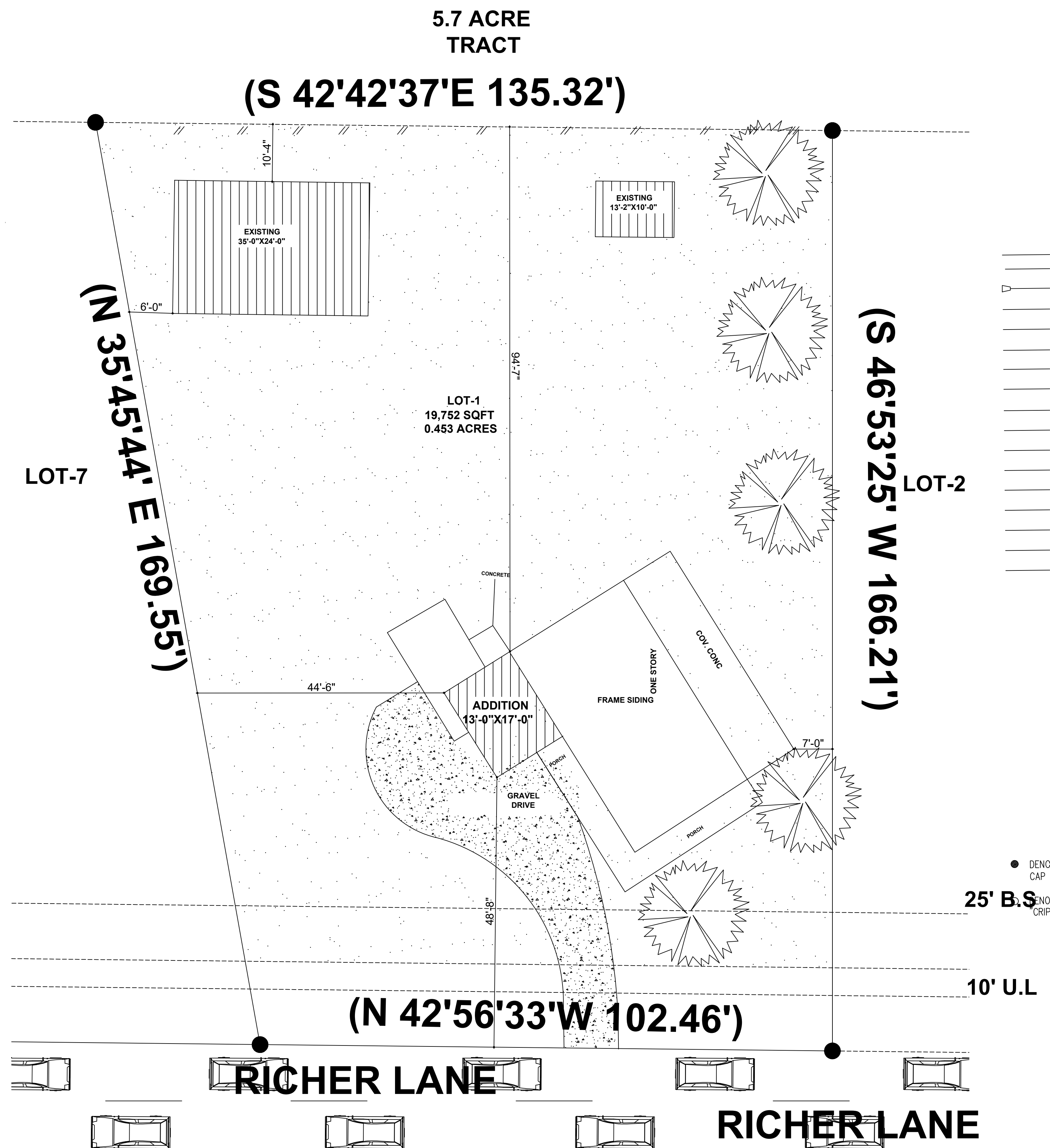
160 RICHTER LANE NEW BRAUNFELS
TX 78130

[illegible]

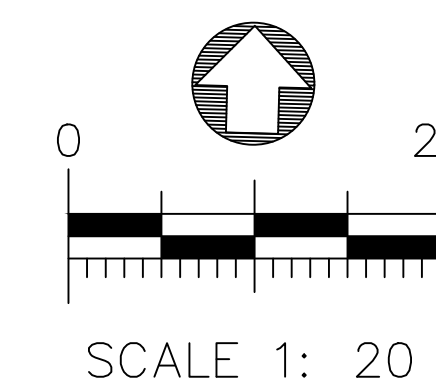
1 : 20

Project number	Project Number
Date	6/24/2024
Drawn by	HN
Checked by	NKL

Scale $\frac{1}{4}'' = 1'-0''$



SCALE 1: 20



Control, Grades, and Elevation

At the completion of the final grading, the disturbed areas shall be revegetated in accordance with the plans and specifications.

Rough grading under proposed paving and all general site rough grading shall be brought to within +/- 0.1 foot. Rough grading elevations in paved areas are to bottom of pavement. See Landscape plans for additional grading elevations in landscaped areas.

Grading between the contours depicted on this plan shall be uniform.

Before any earthwork is done, the Contractor shall stake out and mark the limits of pavement and other items established by the plans. The Contractor shall protect and preserve control points at all times during the course of the project. The grading contractor shall provide all necessary engineering and surveying for line and grade control points related to earthwork.

All accessible routes must meet current T.A.S. (Texas Accessibility Standards). Contractor must be familiar and comply with all of the T.A.S. standards as they pertain to this project.

Match existing grade at property line.

Compact all sub-grades to 95% S.P.D. at optimum moisture content.

The Contractor shall maintain adequate site drainage during all phases of construction. The Contractor shall use silt fences as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion.

All excavating is unclassified and shall include all materials encountered. Unusable excavated material and all waste resulting from site clearing and grubbing shall be disposed of off site by the contractor at his expense.

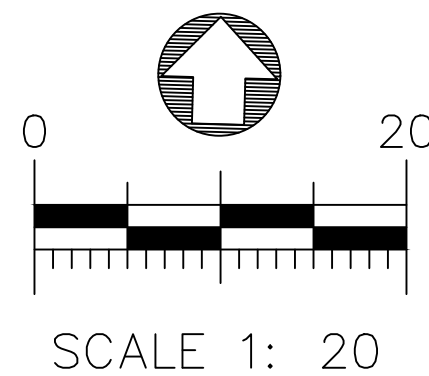
Refer to Architectural drawings for building dimensions.

All construction shall comply to the requirements of the standard specifications of the City of New Braunfels and any applicable NCTCOG specifications and details.

Existing surface and underground utilities and other appurtenances indicated on these plans have been located from the best information available. The Engineer/Owner does not accept the responsibility for the utility locations shown. It shall be the contractor's responsibility to verify exact (both horizontal and vertical) location of all existing utilities prior to construction.

It shall be the contractor's responsibility to notify Owner/Engineer promptly of any conflicts of the work with existing facilities. The contractor shall preserve and protect all existing facilities from damage during construction. Any damage by the contractor to existing facilities shall be repaired by the contractor at his/her expense.

The contractor(s) is (are) to provide "red lined" mark-ups of these plans to the owner/engineer for any field changes made during construction after the project is complete. These mark-ups will be used to prepare "Construction Record Drawings".



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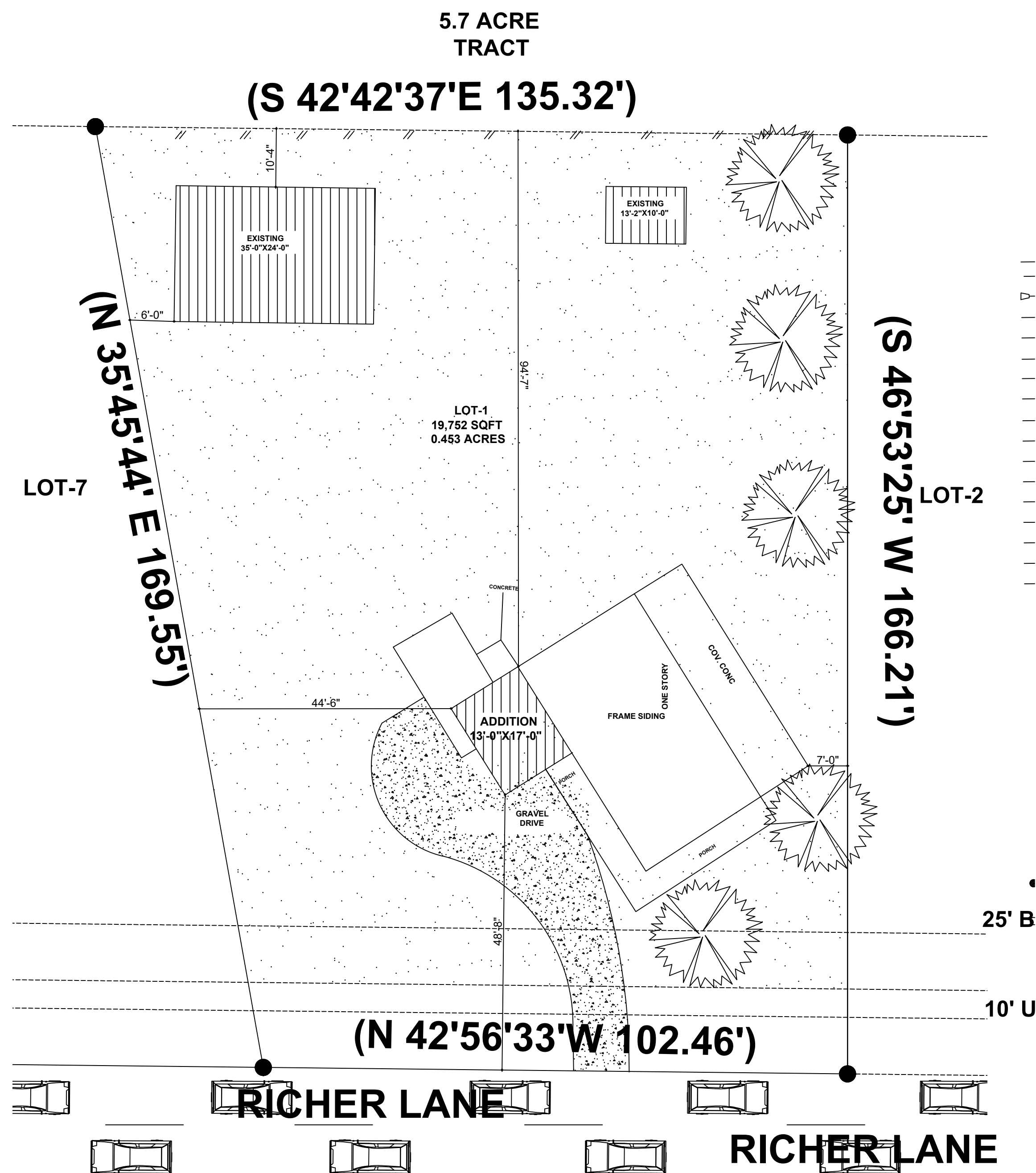
160 RICHTER LANE NEW BRAUNFELS
TX 78130

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OWNER:

UTILITIES PLAN

Project number	Project Number
Date	6/24/2024
Drawn by	HN
Checked by	NKL
C-6.0	
Scale	1/4" = 1'-0"

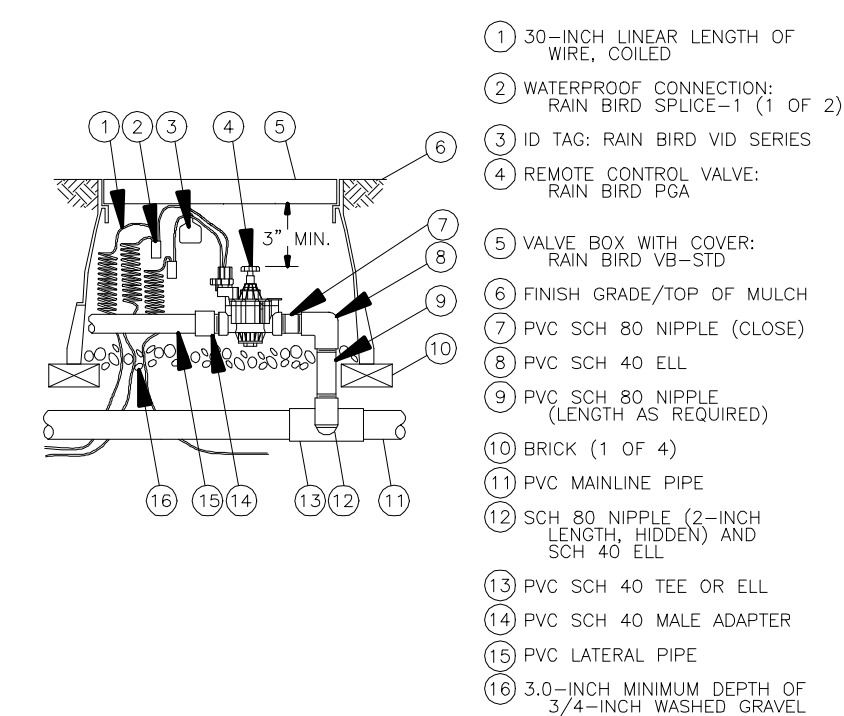


LANDSCAPE PLAN

SCALE 1: 20

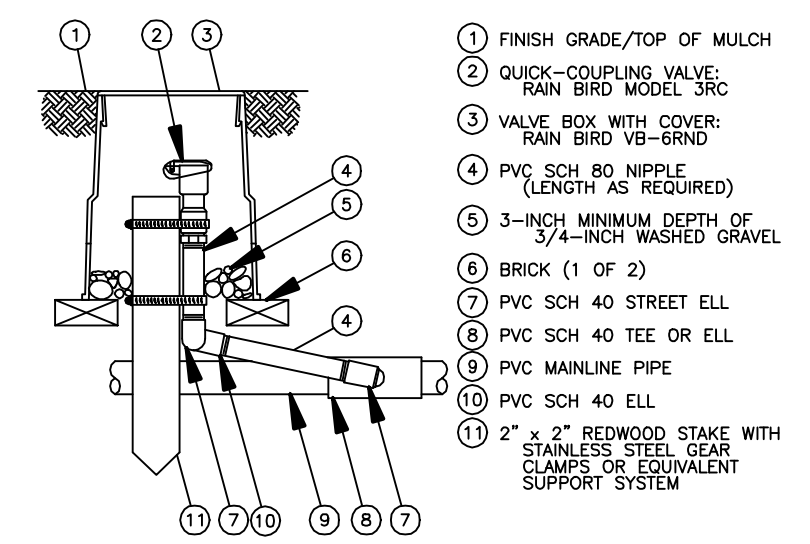
PLANT SCHEDULE					
LOCATION ON PROPERTY	TREE / SHURB CLASS	TREE / SHRUB SPACING	TREE / SHRUB SIZE	TOTAL NUMBER OF TREE	STRIP WIDTH (FT)
LANDSCAPING AT RIGHT OF WAY S MAJOR DRIVE	SHRUBS WILL BE CHOSEN FROM THE LIST IN CITY OF BEAUMONT ORDINANCE SECTION 28.04.006	CONTINUOUS	MUST MAINTAIN MINIMUM OF THREE FT (3') HEIGHT OR GREATER	-	74.40
PARKING AREA	CLASS A. TREE(S) TYPE WILL BE CHOSEN FROM CLASS A TREE LISTED IN CITY OF BEAUMONT ORDINANCE SECTION 28.04.007	1 PER PENINSULA	2 INCHES OR GREATER IN CALIPER WHEN PLANTED. MATURE HEIGHT IS GREATER THAN 30 FEET. BRANCHES BEGIN AT 6 FEET.	4	9.00

	CLASS A : 2 INCHES OR GREATER IN CALIPER WHEN PLANTED. MATURE HEIGHT IS GREATER THAN 30 FEET. BRANCHES BEGIN AT 6 FEET	CLASS B : 8 TO10 FEET HEIGHT WHEN PLANTED AND 30 MATURE HEIGHT	SHRUBS: MUST MAINTAIN 3-FOOT HEIGHT OR GREATER. MUST BE EVERGREEN
Example			
1	FAGUS GRANDIFOLIA, FAGUS AMERICANA	ERIOBOTRYA JAPONICA, PHOTINIA JAPONICA	LIGUSTRUM JAPONICUM
2	FRAXINUS	MAGNOLIA	OSMANTHUS HETEROPHYLLUS
3	TAXODIUM DISTICHUM	LIGUSTRUM AMURENSE	NANDINA DOMESTICA
4	QUERCUS ALBA	ILEX ALTACLAARENSIS VAR	ABELIA X GRANDIFLORA



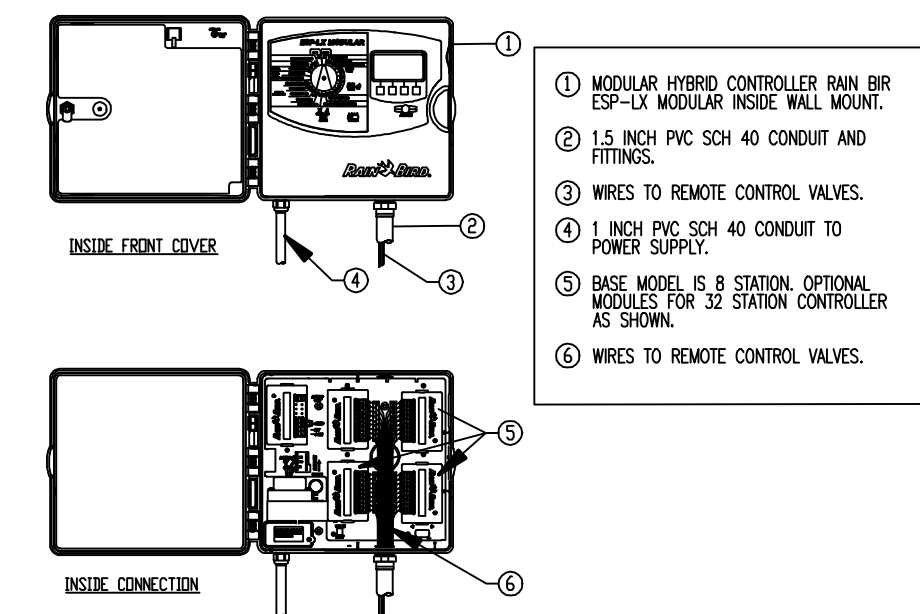
QUICK COUPLER - RAIN BIRD 3RC

Not To Scale



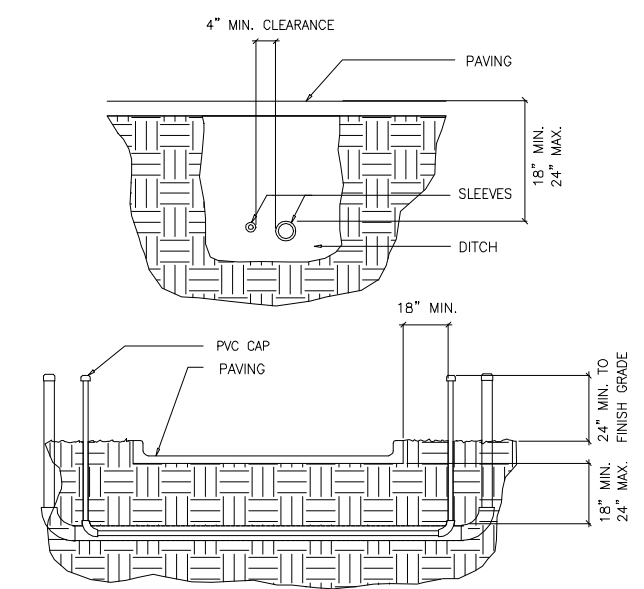
NOTE:
FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO
NOMINAL QUICK COUPLING VALVE INLET SIZE.

Not To Scale



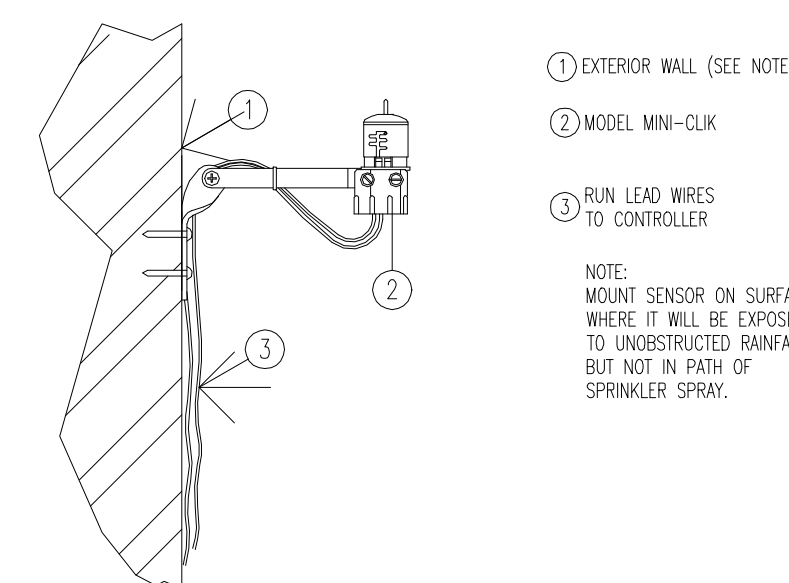
SPRAY HEAD - RAIN BIRD 1800 SERIES

Not To Scale



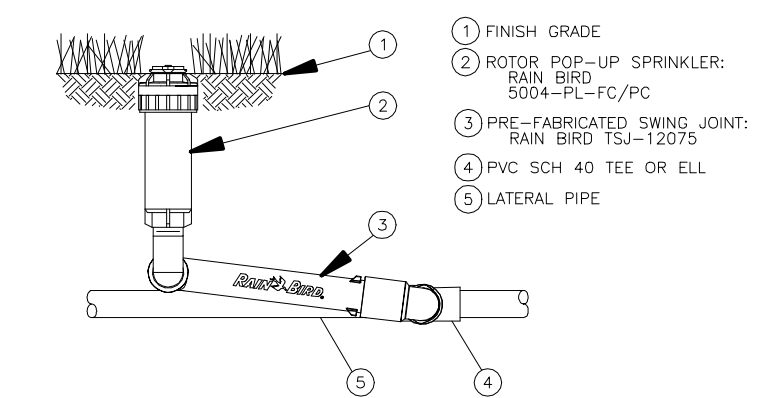
NOTES:

1. ALL PVC IRRIGATION SLEEVING TO BE SCHEDULE 40.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. EXTEND SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE AND CAP.
4. MECHANICALLY TAMP TO 95% PROCTOR.



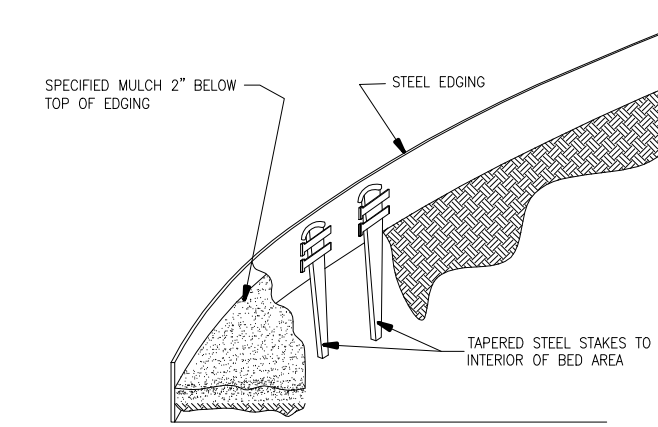
- ① EXTERIOR WALL (SEE NOTE)
- ② MODEL MINI-CLIK
- ③ RUN LEAD WIRES TO CONTROLLER

NOTE:
MOUNT SENSOR ON SURFACE
WHERE IT WILL BE EXPOSED
TO UNOBSTRUCTED RAINFALL,
BUT NOT IN PATH OF
SPRINKLER SPRAY.

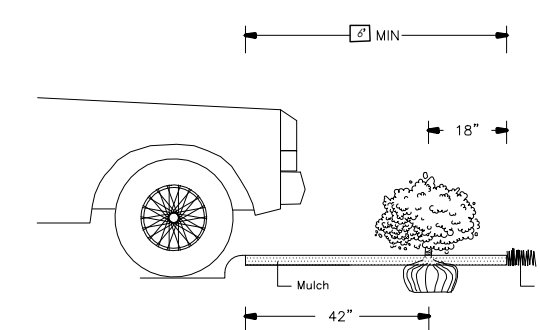


IRRIGATION SLEEVING

Not To Scale

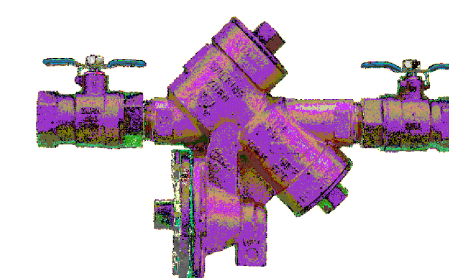


LANDSCAPE EDITING DETAIL

[illegible]

HEDGE PLANTING AT PARKING CURB

SCALE: NOT TO SCALE



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OWNER:

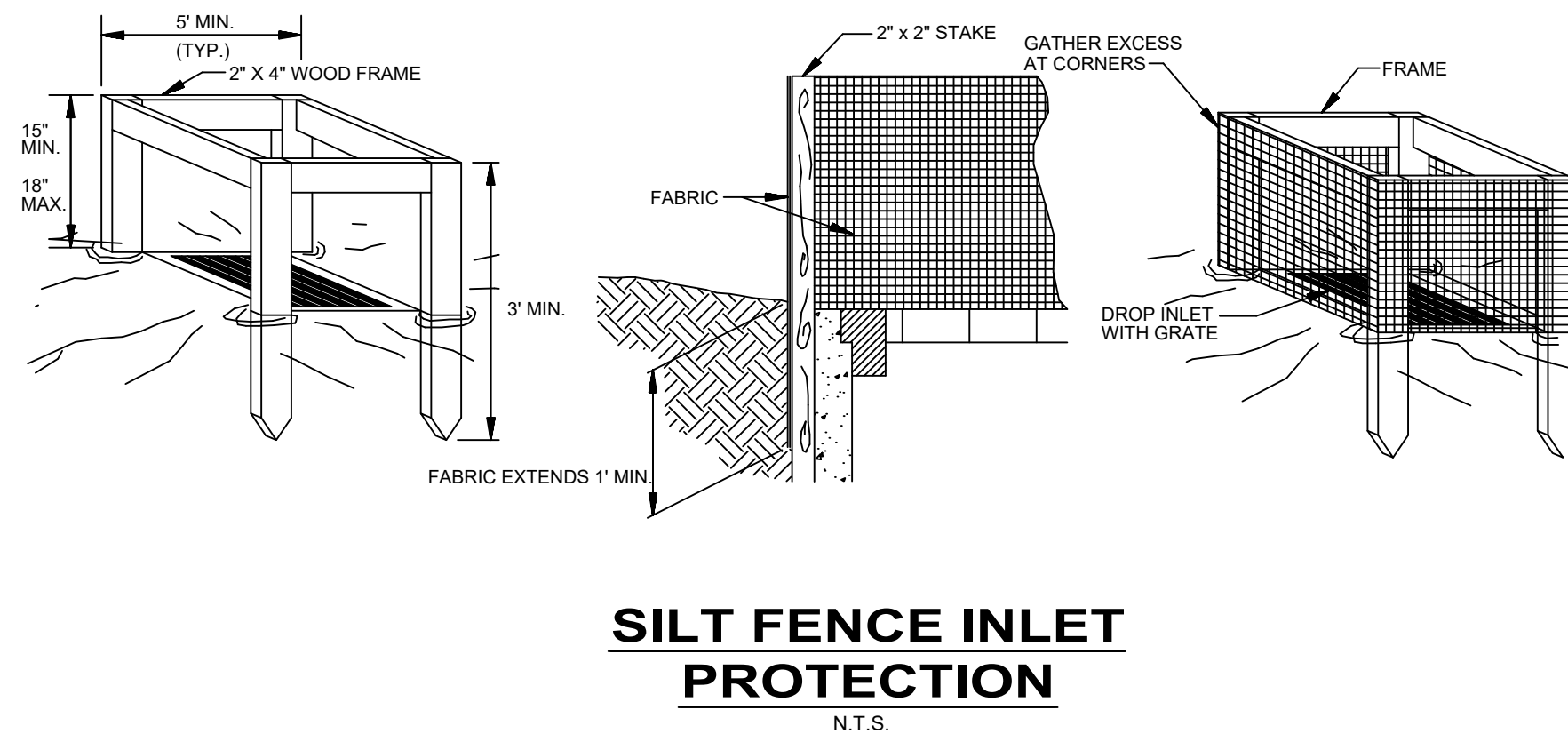
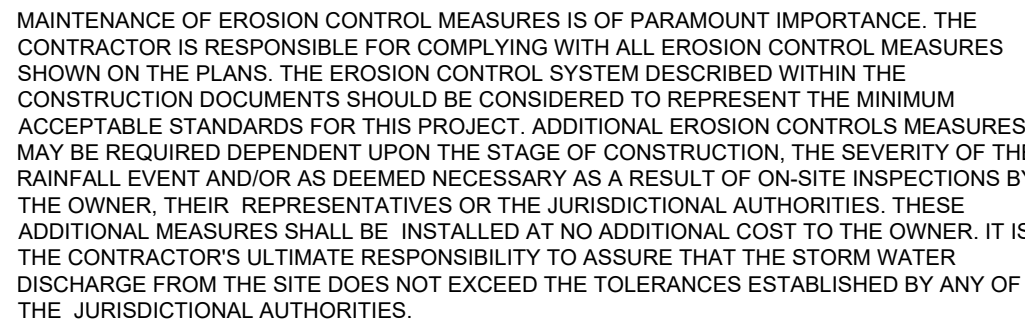
1 : 20

LANDSCAPE PLAN

Project number	Project Number
Date	6/24/2024
Drawn by	HN
Checked by	NKL

C-7.0

Scale $1/4" = 1'-0"$



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Scale C-8.0 $1/4" = 1'-0"$